

City of Worcester Planning Board

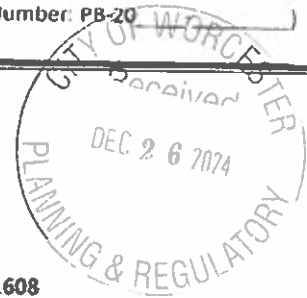


**DEFINITIVE SITE PLAN APPLICATION**

Division of Planning & Regulatory Services

City Hall, 455 Main Street, Room 404, Worcester, MA 01608

Phone: (508) 799-1400 x 31440 – Fax: (508) 799-1406 – E-mail: [planning@worcesterma.gov](mailto:planning@worcesterma.gov) (preferred)



**1. PROPERTY INFORMATION**

a. 120 Washington Street (Lot 3A)

Address(es) – please list all addresses the subject property is known by

b. 05-005-0003A

Parcel ID or Map-Block-Lot (MBL) Number

c. Worcester District Registry of Deeds, Book 66967 Page 244

Current Owner(s) Recorded Deed/Title Reference(s)

d. Business, General (BG-6.0), Commercial Corridors Overlay District - Downtown (CCOD-D),  
Zoning District and all Zoning Overlay Districts (if any) and Downtown/Blackstone Canal Sign Overlay District (DSOD)

**2. APPLICANT INFORMATION**

a. SMC Residences at Table Talk Square Limited Partnership

Name(s)

b. 100 Galen Street, Suite 301, Watertown, MA 02472

Mailing Address(es)

c. c/o Mark A. Borenstein, mborenstein@princelobel.com and (508) 688-9136

Email and Phone Number(s)

d. Purchaser

Interest in Property (e.g., Lessee, Purchaser, etc.)

I certify that I am requesting the Worcester Planning Board grant the Definitive Site Plan as described below SMC Residences at Table Talk Square Limited Partnership

By its General Partner, Sentry Management Holding, LLC

By:

(Signature)

Stephen M. Chapman, Authorized Signatory

**3. OWNER OF RECORD INFORMATION (IF DIFFERENT FROM APPLICANT)**

a. Boston Capital Development, LLC

Name(s)

b. 11 Beacon Street, Suite 325, Boston, MA 02108

Mailing Address(es)

d. c/o Mark A. Borenstein, mborenstein@princelobel.com and (508) 688-9136

Email and Phone Number

Division of Planning & Regulatory Services  
455 Main St., 4<sup>th</sup> Floor, Worcester, MA 01608  
Office 508-799-1400 – Fax 508 799-1406  
[Planning@worcesterma.gov](mailto:Planning@worcesterma.gov)

**4. REPRESENTATIVE INFORMATION**

a. Mark A. Borenstein, Prince Lobel Tye LLP

Name(s)

b.

Signature(s)

c. 120 Front Street, Suite 830, Worcester, MA 01608

Mailing Address(es)

d. mborenstein@princelobel.com

(508) 688-9136

Email and Phone Number

e. Attorney

Relation to Project (Architect/Attorney/Engineer/Contractor, etc.)

**5. AUTHORIZATION** Richard D. Mazzocchi, Authorized Signatory of

Authorization I, Boston Capital Development, LLC, Owner of Record of the property listed with the

Assessing Division of the City of Worcester, Massachusetts as Map 05 Block 005 Lot(s) 0003A, do hereby

authorize SMC Residences at Table Talk Square Limited Partnership to file this application with the Division of Planning & Regulatory

Services of the City of Worcester on this the 12th day of December, 2024,  
Boston Capital Development LLC

By:

Richard D. Mazzocchi, Authorized Signatory

On this 12th day of December, 2024, before me personally appeared

Richard D. Mazzocchi, to me known to be the person described in and who executed the foregoing

instrument and acknowledged that they executed the same as their ~~free~~ free act and deed.

[Signature]  
NOTARY PUBLIC  
My Commission Expires: 12/1/2028



(If there is more than one owner of the land to be considered in this application, a notarized authorization is required for each owner.)

6. PROVIDE THE FOLLOWING ITEMS, 1 DIGITAL COPY IN PDF FORMAT VIA EMAIL TO PLANNING@WORCESTERMA.GOV AND CONFIRM WITH STAFF BEFORE SUBMISSION OF 1 PHYSICAL COPY BY HAND DELIVERY OR MAIL:

- Zoning Determination Form obtained from the Inspectional Services Division (email inspections@worcesterma.gov or call 508 – 799 – 1198 for more information)
- Completed Site Plan Application, signed by all parties involved.
- Completed Tax Certification for the  Applicant and  Owner (if different) are attached (page 4)
- If the applicant is NOT the Owner, the **Owner(s) Authorization** for the applicant to apply is attached (page 2)
- A **Certified Abutters List(s)** issued within 3 months of this application's filing date which includes all properties affected and includes any contiguous, commonly owned property(s). This can be obtained from the Assessor's Office and includes all abutters and abutters to abutters within 300' of the edge of the land owner's property.  
*Note: if the property(s) is within 300 ft. of another town an abutters list from that town may be required*
- Project Impact Statement** describing the proposed project and analyzing how the project and site layout were designed with consideration for and to be compatible with the review criteria in the Zoning Ordinance.
- Site Plan** showing the full project scope and all elements listed in Item 11 of this application, stamped and signed by all applicable professionals
- Architectural drawings** showing exterior elevation, height in feet and stories, exterior materials for all structures, and corresponding floor plans stamped and signed by all applicable professionals
- Stormwater Report** demonstrating compliance with Massachusetts Stormwater Standards for the project, as applicable based on project type and scope (*contact staff to confirm*)
- Traffic Study**, if necessary based on expected traffic generation (*contact staff to confirm*)

7. PROVIDE 1 PHYSICAL COPY OF THE FOLLOWING ITEMS:

- One stamped (i.e. postage paid) pre-addressed envelope for *each* party on the Abutters List and the applicant (if different from the owner), with the following return address:

Division of Planning and Regulatory Services  
455 Main Street (City Hall), Room 404  
Worcester, MA 01608

- Filing Fee of \$ 5,000.00 is enclosed (*see fee schedule or contact staff to confirm amount*).

**8. TAX CERTIFICATION**


This certification must be completed by all applicants and owners of the property, certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a completed certification shall result in the application being deemed incomplete.

If a Single Owner or Proprietorship:

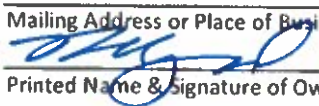
- a. \_\_\_\_\_  
Name
- b. \_\_\_\_\_  
Signature certifying payment of all municipal charges
- c. \_\_\_\_\_  
Mailing Address
- d. \_\_\_\_\_  
Email and Phone Number

**9. IF A PARTNERSHIP OR MULTIPLE OWNERS:**

- e. \_\_\_\_\_  
Names
- f. \_\_\_\_\_  
Signatures certifying payment of all municipal charges
- g. \_\_\_\_\_  
Mailing Address
- h. \_\_\_\_\_  
Email and Phone Number

Applicant, if different from owner: SMC Residences at Table Talk Square Limited Partnership  
 By its General Partner: Sentry Management Holding, LLC  
 i.  By: Stephen M. Chapman  
 Printed Name & Signature of Applicant/certifying payment of all municipal charges Authorized Signatory

If a Corporation or Trust:

- j. Boston Capital Development, LLC  
Full Legal Name
- k. Massachusetts 11 Beacon Street, Suite 325, Boston, MA 02108  
State of Incorporation Principal Place of Business
- l. 11 Beacon Street, Suite 325, Boston, MA 02108  
Mailing Address or Place of Business in Massachusetts
- m.  Richard D. Mazzocchi, Boston Capital Development, LLC  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges Authorized Signatory of
- n. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- o. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges
- p. \_\_\_\_\_  
Printed Name & Signature of Owner or Trustee, certifying payment of all municipal charges

**10. PROJECT TYPE AND DESCRIPTION**

**a. Existing Conditions. Describe the current/existing use of the property**

The property known as Lot 3A is an approximately 65,852 SF (approximately 1.512 acres) lot which is partially occupied by an unstriped parking area and bound by Ash Street to the north, Washington Street to the west, Spruce Street to the south and Green Street to the east.

**b. Proposed Conditions. Check the box for all of the categories that describe the proposed project:**

Proposed Project Type			
Residential	<input checked="" type="checkbox"/>	New Construction	<input checked="" type="checkbox"/>
Industrial/manufacturing	<input type="checkbox"/>	Rehabilitation/Renovation	<input type="checkbox"/>
Business	<input type="checkbox"/>	Expansion/Addition	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Change of use	<input type="checkbox"/>
Subdivision	<input type="checkbox"/>	Drive-through	<input type="checkbox"/>
		Gas station	<input type="checkbox"/>
		Lodging House	<input type="checkbox"/>
		Historic Property	<input type="checkbox"/>
		Abuts Historic Property	<input type="checkbox"/>
		Billboard	<input type="checkbox"/>
		Airport Environs Overlay	<input type="checkbox"/>
		≥15% Slope Disturbed	<input checked="" type="checkbox"/>

**c. Describe the proposed use of the property (attach separate narrative if needed)**

The applicant is proposing to construct a 7-story multifamily building with approximately 185 residential units (studios, 1 BR and 2BR) over 5 floors and 2 floors of podium parking (approximately 113 parking spaces on the first floor and approximately 117 spaces on the second floor), amenities space, exterior courtyards and site improvements related thereto. The property owner will be seeking an approval not required endorsement to create two additional new lots which will reduce the area of Lot 3A to approximately 54,845 SF.

**d. Fill in all information relevant to the proposed project**

All Projects	Existing	Change +/-	Total
Overall lot size in square feet	± 65,852 SF	- 11,007 SF	± 54,845 SF
Number of buildings	0 Buildings	+ 1 Building (Lot 3A)	1 Building (Lot 3A)
Total square footage of building(s)	0 SF	+ 282,359 SF	282,359 SF (Lot 3A)
Number of stories of building(s)	0 Stories	+ 7 Stories	7 Stories
Number of parking spaces	Unstriped Parking	+ 230 Spaces	230 Spaces
Number of loading spaces	0 Loading Spaces	N/A	0 Loading Spaces
Changes to on-street parking	N/A	N/A	N/A
Total vehicle daily trips. <i>Please consult staff for specific thresholds requiring review.</i>	See Traffic Memo	See Traffic Memo	See Traffic Memo
Square feet of wetlands	0 SF	N/A	0 SF
Square feet of surface (open) water	0 SF	N/A	0 SF
Square feet of area vegetated/wooded	0 SF	+ 5,445 SF	5,445 SF
Number of trees over 9" in caliper	0 Trees	0 Trees	0 Trees
Cubic yards of fill material to be imported/exported	TBD	TBD	TBD
Square feet of property in floodplain	0 SF	N/A	0 SF
Length of roadway (in feet or miles)	0 ft	N/A	0 ft
<b>Residential</b>	<b>Existing</b>	<b>Change +/-</b>	<b>Total</b>
Number of units	0 Units	+ 185 Units	185 Units
If multi-family, number of bedrooms per unit	0 BR	+ Studios, 1 BR and 2 BR	Studios, 1 BR and 2 BR
Number of accessible units	0 Units	N/A	0 Units
Number of affordable units	0 Units	N/A	0 Units
<b>Business/ Industrial</b>	<b>Existing</b>	<b>Change +/-</b>	<b>Total</b>
Gross square feet of floor area	0 SF	N/A	0 SF

### 11. ZONING

If this project has already been granted Zoning Relief by the Zoning Board of Appeals, please list the relief below:

Type of Relief	Date Approved
N/A	

### 12. PERMITS REQUIRED

List any Federal, State, or City of Worcester agencies from which permits or other actions have been or will be sought. Please continue list on an attached sheet if needed.

Agency Name	Permit Type	Date Filed	File Number
Worcester Inspectional Services	Building Permit	TBD	TBD

### 13. PLAN REQUIREMENTS

The following information is required of all applications submitted for Site Plan Review. If you are not providing one of these, please check "waiver requested" next to the item.

Feature	Waiver Requested	Location in Set (Sheet/ page #)
a. Site Plan at a minimum 1" = 40'-0" scale, legend, & properly oriented north arrow	<input type="checkbox"/>	All Pages
b. Locus plan with zoning information shown	<input type="checkbox"/>	C-101 and C-301
c. Existing utilities	<input type="checkbox"/>	Survey (Back of Plan Set)
d. Existing and proposed grading using differing linetypes, showing 2' contours	<input type="checkbox"/>	C-301
e. Soil types identified on the plan (including test-pit/boring locations)	<input type="checkbox"/>	Drainage Report
f. Location of all trees over 9" caliper inches on existing conditions plan	<input checked="" type="checkbox"/>	N/A
g. Architectural elevations or renderings (including exterior materials)	<input type="checkbox"/>	Arch Plans
h. Landscape plan including plantings, and details for all landscape elements	<input type="checkbox"/>	L-101 - L-103
i. Shade trees to reduce heat island effect. (1 tree required per dwelling unit and a minimum of 1 tree required for every 10 interior parking spaces, 3.5" caliper size)	<input type="checkbox"/>	N/A
j. Stormwater mitigation measures for the 2, 10, 25, & 100-year design storm. Provide a stamped Stormwater Checklist & Calculations. <i>All projects shall comply with Massachusetts Stormwater Standards, as applicable to project scale.</i>	<input type="checkbox"/>	Drainage Report
k. For multi-family residential dwellings in B zones, 10% of site area has been provided for recreation. <i>Note: See Article IV, Section 2, Table 4.2, footnote 3.</i>	<input type="checkbox"/>	N/A

**14. REVIEW STANDARDS**

The following standards shall be used by the Planning Board in reviewing all applications for site plan review. These standards are intended to provide a frame of reference for the applicant in development of applications. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention or innovation. Applicants are encouraged to evaluate the extent to which the site plan, its immediate and general locus and the City more generally can tolerate the development being proposed and adjust their proposals accordingly.

Applicants should additionally provide a narrative “project impact statement” summarizing how the proposed project has been designed with the following criteria in mind by evaluating their proposal on the basis of the following 16 review standards, as outlined in the Zoning Ordinance per Article V, Section 5, B.

Provide the following information about the proposed project in relation to the review standards. If you are not providing one of these features please check “none” next to the item.

**1. Adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience.**

Feature	None	Page/ sheet #
a. Pedestrian pathways internal to the site, with dimensions of path widths	<input type="checkbox"/>	C-301
b. Pedestrian pathways connecting to sidewalks or nearby amenities	<input type="checkbox"/>	C-301
c. Doors/egress to all existing and proposed buildings	<input type="checkbox"/>	Arch Plans & C-301
d. Pedestrian paving and surface treatment details	<input type="checkbox"/>	C-301
e. Safe, ADA accessible pedestrian crossings at driveways and intersections	<input type="checkbox"/>	C-301, C-401

**2. Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls.**

Feature	None	Page/ sheet #
a. Driveway layout & materials	<input type="checkbox"/>	C-301
b. Dimensions of all drives and curb cut widths, minimizing the number and width of curb-cuts (see Note 5 to Table 4.4)	<input type="checkbox"/>	C-301
c. Access control and directional signage (e.g. gates, pavement markings, etc.)	<input type="checkbox"/>	C-301
d. Pavement and curb details, including level sidewalks at driveways	<input type="checkbox"/>	C-301
e. Permeable or porous paving, and/ or cool pavements/ treatments	<input type="checkbox"/>	C-301

**3. Location, arrangement, appearance and sufficiency of off-street parking and loading.**

Feature	None	Page/ sheet #
a. Number of parking spaces provided (9 x 18)	<input type="checkbox"/>	Arch Plans & C-301
b. Number of compact parking spaces (8 x16)	<input type="checkbox"/>	Arch Plans & C-301
c. ADA parking spaces	<input type="checkbox"/>	Arch Plans & C-301
d. Parking aisle width (24 feet for 90° parking; see policy for angled spaces)	<input type="checkbox"/>	Arch Plans & C-301
e. Parking is outside front & exterior side yard/setback (except residential drives)	<input type="checkbox"/>	Arch Plans & C-301
f. Loading spaces or docks (see Table 4.5 and related notes)	<input type="checkbox"/>	Arch Plans & C-301
g. Screen planting between parking and edge of property or pedestrian paths	<input type="checkbox"/>	L-101 - L-103
h. Number of electric vehicle charging stations or “ready” (conduit run) spaces	<input type="checkbox"/>	TBD
i. Bicycle parking (is it covered, or provided inside the building? Circle: YES NO)	<input type="checkbox"/>	Arch Plans

**4. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs.**

Feature	None	Page/ sheet #
a. Building entrance fronting on the sidewalk	<input type="checkbox"/>	TBD
b. Front façade with features to add visual interest and activate street (e.g., window placement, variation of materials, reduction in massing, etc.)	<input type="checkbox"/>	Arch Plans
c. Green roof, blue roof, rooftop solar, or use of high-albedo roof treatments	<input checked="" type="checkbox"/>	
d. Light levels appropriate for safety (1 foot candle) where pedestrians and vehicles will meet	<input type="checkbox"/>	L-201 & L-202
e. Parking and circulation directional signage	<input type="checkbox"/>	Arch Plans
f. Signage facing the street	<input type="checkbox"/>	Arch Plans

**5. Adequacy of stormwater and drainage facilities.**

Feature	None	Page/ sheet #
a. Flood Zones, wetlands, watercourses, and water quality and wellhead protection areas	<input checked="" type="checkbox"/>	
b. Bioswale or other open stormwater infiltration area planted with native vegetation (rain garden, etc.)	<input checked="" type="checkbox"/>	
c. Infiltration of clean runoff to maintain groundwater supply	<input checked="" type="checkbox"/>	
d. Overflow or other connection to City stormwater infrastructure***	<input type="checkbox"/>	C-401

\*\*\*Contact DWP&P to determine any applicable sewer connection or use change fees.

**6. Adequacy of water supply and sewerage disposal facilities.**

Feature	None	Page/ sheet #
a. Connections to or extensions of city sanitary sewer and water utilities. <i>Contact DWP&amp;P to determine any applicable sewer connection or use change fees.</i>	<input type="checkbox"/>	C-501
b. Connections to or extensions of city storm drainage infrastructure	<input type="checkbox"/>	C-401
c. Footing or foundation drainage for a proposed structure or wall	<input type="checkbox"/>	TBD

**7. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section-5(C).**

Feature	None	Page/ sheet #
a. Walls, including height (show top & bottom elevations at highest and all intersecting points, minimize height whenever possible), materials, and related drainage.	<input type="checkbox"/>	C-301
b. Engineered slopes (rip-rap is not recommended)	<input checked="" type="checkbox"/>	
c. Planted buffers between parking facilities and adjacent properties or roads	<input type="checkbox"/>	L-101 - L-103
d. Proposed plantings and areas to be seeded (number, species or mix, size)	<input type="checkbox"/>	L-101 - L-103
e. Fencing, including information on material, height, and style (including gates)	<input type="checkbox"/>	TBD
f. Planted buffers along rear and side yard setbacks	<input type="checkbox"/>	L-101 - L-103

**8. In the case of an apartment complex or other multiple dwelling, the adequacy of useable common property or open space. Note: for residential uses in Business Districts see Article IV, Section 2, Table 4.2, footnote 3.**

Feature	None	Page/ sheet #
a. Outdoor seating (i.e. benches, seat walls, picnic tables, etc.)	<input type="checkbox"/>	Arch Plans, L-102
b. Recreation or play area (Is it designed for children/ families? Circle: YES NO)	<input checked="" type="checkbox"/>	
c. Raised beds for a community garden or other urban agriculture provisions	<input checked="" type="checkbox"/>	
d. Paved pedestrian plaza area (includes patios) or deck	<input checked="" type="checkbox"/>	
e. Interior common space and amenities or balconies	<input type="checkbox"/>	Arch Plans, L-102



**9. Protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.**

Feature	None/	Page/ sheet #
a. Plan locating all existing (to remain) & proposed light fixtures	<input type="checkbox"/>	L-201
b. Details of all proposed light fixtures: showing max temperature of 4,000K, dark-sky compliant, and with shielding to prevent light spillover	<input type="checkbox"/>	L-201
c. Photometric plan for parking lots with ≥12 new spaces	<input type="checkbox"/>	L-201
d. Opaque fencing or evergreen planting to screen trash or utility areas (including siting and screening of roof-top equipment, as applicable)	<input checked="" type="checkbox"/>	Trash is Internal
e. Sound attenuation at loading, utility, and other noise generating areas with particular attention to sensitive neighbors	<input checked="" type="checkbox"/>	
f. Limit of clearing, with mature vegetation protected where possible	<input type="checkbox"/>	Survey, C-201 & C-301

**10. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.**

Feature	None	Page/ sheet #
a. Diagram of fire truck access path (applicant should coordinate turning radius and access requirements with the Fire Department)	<input checked="" type="checkbox"/>	
b. Clearly marked fire or emergency loading areas	<input type="checkbox"/>	Arch Plans, C-301
c. Fire hydrants and/or FDC connections	<input type="checkbox"/>	TBD

**11. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion.**

Feature	None	Page/ sheet #
a. All buildings and utilities are located at or above the 500-year flood elevation	<input checked="" type="checkbox"/>	
b. Drainage infrastructure is designed to reduce ponding and slow runoff	<input type="checkbox"/>	C-401

**12. Adequacy of erosion and sedimentation control measures to be utilized during and after construction.**

Feature	None	Page/ sheet #
a. Erosion control plan narrative sequence (including perimeter controls and temporary stormwater management) for construction activities	<input type="checkbox"/>	C-801 - C-802
b. Plans for securing of any stockpiles on site during construction	<input type="checkbox"/>	C-801 - C-802
c. Temporary and permanent slope stabilization/designs for slopes greater than 3H:1V; (note: loam and seed is not sufficient)	<input checked="" type="checkbox"/>	
d. Slopes ≥2.5H:1V are engineered (note: loam and seed is not sufficient)	<input checked="" type="checkbox"/>	
e. Temporary sediment basins and other means of stormwater velocity attenuation or conveyance proposed during construction	<input checked="" type="checkbox"/>	

**13. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.**

Feature	None	Page/ sheet #
a. Protection of existing historic architectural or site features	<input checked="" type="checkbox"/>	
b. Historically-sensitive façade, window, and roof treatments	<input checked="" type="checkbox"/>	

**14. Adequacy and impact on the regional transportation system.**

Feature	None	Page/ sheet #
a. Bus service within ¼ mile (indicate number of stops and route numbers)	<input type="checkbox"/>	TBD
b. Improvements to neighborhood walk/bike-ability or public transportation	<input type="checkbox"/>	L-101 - L-103

**15. Adequacy of plans and protective measures to ensure minimal risk of contamination to surface or ground water.**

Feature	None	Page/ sheet #
a. Snow storage locations (outside of basins and required parking/landscape buffer)	<input checked="" type="checkbox"/>	
b. Water quality structures to remove total suspended solids (TSS) from runoff	<input checked="" type="checkbox"/>	
c. Water quality structures to remove pollutants from runoff (i.e. oil/ water separators, etc.)	<input type="checkbox"/>	TBD
d. Plan for mitigation of any contaminated soils (include RTN, RAM Plan, AUL)	<input checked="" type="checkbox"/>	N/A
e. Locations of material to cut or filled (including the location of the source material if fill)	<input type="checkbox"/>	TBD
f. Dewatering plans	<input type="checkbox"/>	TBD

**16. Conformance of the site design with the purposes and intent of the Worcester Zoning Ordinance.**

Feature	None	Page/ sheet #
a. Minimum yard setbacks (for front, side, and rear)	<input type="checkbox"/>	C-301
b. Property and right-of-way boundary lines (include the status of ways)	<input type="checkbox"/>	C-301 / Survey
c. Easements for any utilities, public access, or adjacent properties	<input type="checkbox"/>	C-301 / Survey
d. Regularity factor for all lots	<input type="checkbox"/>	C-301
e. % paving within the front-yard for residential uses	<input type="checkbox"/>	N/A
f. Height of all structures in feet and stories	<input type="checkbox"/>	ARCH PLANS

**Project Impact Statement of SMC Management Corp.**  
**Application to City of Worcester Planning Board for Definitive Site Plan Review for**  
**Multifamily Development**  
**at 120 Washington Street (a/k/a Lot 3A), Worcester, Massachusetts**

**I. Background, Preliminary Site Plan Approval and Project Scope.**

The property known and numbered as 120 Washington Street, Worcester, Massachusetts (the “Washington Street Property”) was previously occupied by a Table Talk Pies manufacturing facility with related loading and parking areas and consists of the following six (6) parcels which are more particularly shown on the plan entitled, “Approval Not Required Plan of Land Boston Capital Development, LLC”, prepared by Control Point Associates, Inc., dated April 4, 2022 and recorded with the Worcester District Registry of Deeds in Plan Book 963, Plan 91 (the “Recorded ANR Plan”):

- (i) “Proposed Lot #1” consists of approximately 34,017 square feet of land on the corner of Madison Street and Washington Street (“Lot 1”)<sup>1</sup> and is occupied by a 7-story mixed-use building known as District 120 with 83 affordable residential units, a 1,750 square foot ground floor retail/commercial unit and 17 surface parking spaces;
- (ii) “Proposed Lot #2” consists of approximately 16,236 square feet of land on the corner of Green Street and Spruce Street (“Lot 2”)<sup>2</sup> and is occupied by a 3-story mixed-use building with approximately 56 residential units and approximately 6,500 square feet of ground floor retail/commercial space;
- (iii) “Proposed Lot #3A” consists of approximately 65,852 square feet of vacant land with frontage along Washington Street, Spruce Street and Ash Street and two extended areas along Green Street which are on either side of the property known as 139 Green Street (“Lot 3A”)<sup>3</sup>;
- (iv) “Proposed Lot #3B” consists of approximately 32,072 square feet of vacant land with frontage along Madison Street and Spruce Street (“Lot 3B”)<sup>4</sup>;
- (v) “Proposed Lot 4” consists of approximately 4,119 square feet of vacant land along Madison Street (“Lot 4”)<sup>5</sup>; and
- (vi) “Proposed Lot #5” consists of approximately 17,733 square feet which has been improved to be a right of way known as Spruce Street which connects Washington Street to Green Street (the “Spruce Street Parcel”)<sup>6</sup>.

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<sup>1</sup> Lot 1 is identified as Parcel 05-0005-00001.

<sup>2</sup> Lot 2 is identified as Parcel 05-0005-0002A.

<sup>3</sup> Lot 3A is identified as Parcel 05-0005-0003A.

<sup>4</sup> Lot 3B is identified as Parcel 05-005-0003B.

<sup>5</sup> Lot 4 is identified as Parcel 05-005-0004A.

<sup>6</sup> The Spruce Street Parcel is identified as Parcel 05-005-0005A.

The Washington Street Property is located exclusively within the Business, General (BG-6.0) zoning district, the Commercial Corridors Overlay District – Downtown (CCOD-D) and the Downtown/Blackstone Canal Sign Overlay District (DSOD).

Boston Capital Development, LLC (the “Property Owner”) currently owns Lot 3A, Lot 3B, Lot 4 and the Spruce Street Parcel. The Property Owner intends to submit a new approval not required (“ANR”) plan to the Planning Board (the “Board”) for endorsement to further separate Lot 3A into the following three parcels: (i) approximately 54,845 square feet of vacant land with frontage along Washington Street, Spruce Street and Ash Street (the “New Lot 3A”); (ii) approximately 5,739 square feet of vacant land on the corner of Spruce Street and Green Street and located to the south of 139 Green Street (“Proposed Lot 3C”); and (iii) approximately 5,269 square feet of vacant land on the corner of Ash Street and Green Street and located to the north of 139 Green Street (“Proposed Lot 3D”). A copy of the ANR plan showing the New Lot 3A, Proposed Lot 3C and Proposed Lot 3D is enclosed herewith.

On February 1, 2023, Quarterra Multifamily Communities, LLC (the “Initial Developer”) obtained preliminary site plan approval (the “Preliminary Site Plan Approval”) from the Board in connection with: (i) a proposed 8-story 395,000 square foot mixed-use building with approximately 375 dwelling units and 22,000 square feet of ground floor commercial space on Lot 3A and the property known as 139 Green Street; and (ii) a 7-story detached parking garage with approximately 560 parking spaces on Lot 3B (collectively, the “Approved Project”).

Ultimately, the Initial Developer was unable to finance the construction of the Approved Project due increases in construction costs and high interest rates. The Initial Developer subsequently assigned its rights in the Approved Project to the Property Owner. On February 28, 2024, upon request of the Property Owner, the Board granted an extension of time (“EOT”) for the Preliminary Site Plan Approval for the Approved Project. Since the grant of the extension of time, the Property Owner has been evaluating modifications to the Approved Project to ensure the developability of Lot 3A and Lot 3B and meet the recommendations of the Board provided in Preliminary Site Plan Approval and EOT decisions.

The Approved Project is now being modified from one mixed-use building and a parking structure into 4 separate, new developments (the “New Projects”) which will be developed as follows:

- (i) SMC Residences at Table Talk Square Limited Partnership (“SMC”) seeks to develop a 7-story, approximately 282,359 square foot, multifamily building (the “New Building”) on the New Lot 3A with approximately 185 dwelling units (consisting of 29 studios, 86 1-bedroom units and 70 2-bedroom units) within the upper 5 floors, 2 lower levels of podium parking with a total of 230 parking spaces (113 parking spaces on the first floor and 117 parking spaces on the second floor), amenity space, 2 outdoor courtyards, new trees and landscaping, a new transformer area and site improvements related thereto (collectively, the “SMC

Project”)

- (ii) Rossi Development LLC seeks to develop a 6-story multifamily building on Lot 3B with approximately 90 residential units and 78 podium and surface parking spaces;
- (iii) Rossi Development LLC seeks to develop a 5-story mixed-use building on Lot 3C (which will be created through the new ANR plan) with approximately 42 residential units (all studios) and two commercial/retail spaces along Green Street and Spruce Street; and
- (iv) Rossi Development LLC seeks to develop a 5-story mixed-use building on Lot 3D (which will also be created through the new ANR plan) with approximately 40 residential units (all studios) and two commercial/retail spaces along Green Street and Ash Street.

The New Projects are designed to satisfy the required modifications set forth in the Preliminary Site Plan Approval and EOT decisions, to the extent applicable given the broader changes to the Approved Project. In particular, the New Projects are intended to promote safe and efficient pedestrian and vehicular circulation and meet the purposes and intent of Commercial Corridors Overlay District (“CCOD”) as set forth in Article IX of the Zoning Ordinance.

The SMC respectfully requests definitive site plan approval in connection with the development of the SMC Project on the New Lot 3A.

For the avoidance of any doubt, the request for definitive site plan approval as set forth herein applies only to the SMC Project on the New Lot 3A. Separate definitive site plan approval applications are being filed simultaneously with the Board for the remaining New Projects.

## **II. Requirement for Definitive Site Plan Review and Other Approvals**

The development of 5 or more dwelling units and/or the alteration of slopes of 15% or greater require site plan review approval by the Board pursuant to Table 5.1 of Article V of the City of Worcester Zoning Ordinance (the “Zoning Ordinance”). Given that the SMC Project will result in the construction of 185 dwelling units and will include the alteration of slopes of greater than 15%, the Project requires site plan review pursuant to Article V of the Zoning Ordinance.

The Property Owner is concurrently filing an application for an ANR endorsement to establish the New Lot 3A, Lot 3C and Lot 3D.

## **III. Compliance with Site Plan Review Approval Criteria.**

The Project satisfies the site plan review criteria as set forth in Article V, Section 5.B of

the Zoning Ordinance for the reasons stated herein:

1. **Adequacy and arrangement of vehicular traffic access and circulation including intersections, road widths, pavement surfaces, dividers and traffic controls; adequacy and arrangement of pedestrian traffic access and circulation, walkway structures, control of intersections with vehicular traffic and overall pedestrian convenience; location, arrangement, appearance and sufficiency of off-street parking and loading.**

The SMC Project will provide a safe, adequate and efficient layout and design for vehicular and pedestrian traffic along Ash Street, Washington Street, Green Street and Spruce Street. The main entrance to the New Building will be located on the corner of Washington Street and Spruce Street which is located adjacent to existing sidewalk areas and a crosswalk. The SMC Project will be constructed to the north of the newly constructed Spruce Street which has new sidewalks, crosswalks, and curb ramps with detectable warning surfaces. The new curb-cut along Spruce Street, which will provide access to and egress from the first level of the parking garage will be the minimum width feasible (24 ft for two-way circulation), the sidewalk will continue at grade through the curb-cut, the entry point will have sufficient length to prevent vehicles from blocking the sidewalk and there will be a pedestrian/bicyclist warning system for cars egressing from the parking garage.<sup>7</sup> The SMC Project will improve the existing pedestrian facilities in the area by extending the sidewalk along a portion of the southerly side of Ash Street and replacing the existing diagonal crosswalk at the intersection of Ash Street and Summit Street with a perpendicular crosswalk and decreasing the width of the existing curb-cut along Ash Street.<sup>8</sup> The modified curb-cut along Ash Street will provide access to and egress from the second level of the parking garage and will have the same safety features referenced above with respect to the driveway curb-cut on Spruce Street to the extent applicable. Residents of New Building will be able to access their units from the podium parking levels through elevators which will prevent pedestrians exiting from the proposed driveway areas.

The SMC Project, like the other New Projects, is a transit-oriented development which is located in close proximity to Union Station and the Worcester Regional Transit Authority bus terminal. The Applicant will promote bikeability through the installation of bicycle storage in convenient locations in the New Building.

As provided above, the SMC Project will consist of approximately 185 residential units. While Article IV, Table 4.4 of the Zoning Ordinance provides certain minimum parking requirements (e.g., 2 spaces per dwelling unit) and Article IV, Table 4.5 of the Zoning Ordinance

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<sup>7</sup> This curb-cut and sidewalk satisfy the required modifications set forth in Item 13.b of the Preliminary Site Plan Approval and EOT decisions.

<sup>8</sup> The replacement of the diagonal crosswalk at the intersection of Ash Street and Summit Street with a perpendicular crosswalk and modifications to the existing curb-cut along Ash Street satisfy certain required modifications set forth in Item 15 of the Preliminary Site Plan Approval and EOT decisions.

provides certain minimum loading requirements for multifamily high-rise units. However, the New Lot 3A is located within the BG-6.0 and the CCOD-D and therefore does not have minimum off-street parking or loading requirements pursuant to Article IX, Section 7, Table 9.1, Note 1 of the Zoning Ordinance. Despite there not being a minimum off-street parking requirement, the SMC Project will provide for the construction of approximately 230 podium parking spaces which will serve the residents of the New Building.

According to a Traffic Memorandum prepared by The Engineering Corp. (“TEC”) dated December 12, 2024 (the “Traffic Memorandum”), the New Projects will require a total of 111 parking spaces. As provided in the Traffic Memorandum, the proposed 308 parking spaces in the New Projects, in addition to the existing parking spaces on Lot 1, will be sufficient to meet the typical demands of the New Projects and the existing developments on the Washington Street Property. Moreover, there are additional on-street parking stalls and public and private parking facilities throughout the neighborhood to provide additional parking for peak parking demands. Based on the foregoing, the proposed parking space supply is expected to reasonably support the New Projects based on ITE Parking Generation 11<sup>th</sup> Edition demand rates.

According to the Traffic Memorandum, the New Projects will result in an increase of 192 weekday morning peak hour trips and 254 weekday evening peak hour trips. TEC concludes that these new vehicle trips can be efficiently and safely accommodated on the surrounding streets and that the multi-modal transportation system available in the area can accommodate the New Projects’ needs.

**2. Location, arrangement, size, design and general site compatibility of buildings, lighting and signs; protection of adjacent or neighboring properties against noise, glare, unsightliness or other objectionable features.**

The SMC Project is functionally and aesthetically compatible with the surrounding residential and commercial properties in the neighborhood, which include a mix of commercial, multifamily and mixed-use buildings. The proposed multifamily dwelling, high-rise use is permitted by right at the New Lot 3A and therefore is compatible and in harmony with the neighborhood’s character. The New Building will dramatically improve the streetscape within the Canal District by converting a surface parking area into a modern, new residential building.

The kind, size, height and nature of the New Building’s 7-story height will be consistent with other newly constructed multifamily and mixed-use buildings in the neighborhood (e.g., District 120 at 120 Washington Street, The Cove at 99 Green and The Revington at 1 Green Island Boulevard are all 7-story buildings). The New Building will have architecturally appealing features including juliet balconies, elevated courtyard areas and variations in exterior wall materials (e.g. brick, hardi panel and wood accents), tones and textures, all of which will be visible from abutting streets. A metal sculpture depicting a wave of water will span the parking garage levels creating artful movement at street level that masks the large garage openings and

pays homage to the Canal District's namesake – the Blackstone Canal. The roof line of the New Building slopes at the corner and the garage entry on Spruce Street, offering an architectural nod to the metal wave below. The New Building will comply with all dimensional requirements set forth in the Zoning Ordinance including setbacks, height and floor area ratio.

The SMC Project will neither create a nuisance, hazard, congestion or concerns pertaining to health, safety or general welfare, and nor will it result in substantial harm to the neighborhood or derogation from the intent of the Zoning Ordinance because the proposed uses are consistent with those in the neighborhood and the SMC Project conforms with the provisions of the Zoning Ordinance.

The proposed outdoor lighting, which includes light poles and wall-mounted lighting, will be adequate for safe and secure access to and from the New Building. The proposed lighting will be shielded fixtures and appropriately arranged with directional shields so as to minimize light from shining and/or spilling onto abutting properties or streets and will not have a deleterious effect on neighboring properties.

**3. Adequacy of stormwater and drainage facilities; adequacy of water supply and sewerage disposal facilities; adequacy of plans and protective measures to ensure minimal risk of contamination to surface or ground water.**

Structural and non-structural Best Management Practices (“BMPs”) for stormwater are incorporated in the design of the SMC Project, and will be adequate to manage stormwater runoff generated by the SMC Project and to satisfy the requirements of the Zoning Ordinance, the Worcester Department of Public Works & Parks and Massachusetts Stormwater standards. The BMPs will provide stormwater peak mitigation, quality treatment and conveyance. The BMPs include deep sump hooded catch basins, Nyloplast drainage basins, and proprietary water quality units. The stormwater management system's BMPs will remove 80% of annual post-construction load of Total Suspended Solids (TSS). See the Stormwater Narrative prepared by Bohler Engineering.

New water and sewer connections, gas and electric service facilities and infrastructure will be required for the New Building. SMC has confirmed with the City of Worcester Department of Public Works & Parks and the applicable utility companies that sufficient utility lines and infrastructure are available to service the SMC Project in Spruce Street. As currently proposed, the SMC Project proposes to utilize existing stubbed utilities in Spruce Street for water, sewer, and stormwater which were previously anticipated in earlier developments.



**4. Adequacy, type and arrangement of trees, shrubs and other landscaping elements in accordance with the Landscaping Design Standards set forth in Article V, Section 5.C.**

The New Lot 3A is entirely impervious, occupied by an existing surface parking area. The SMC Project will result in the installation of new landscaping including deciduous and evergreen species of trees, shrubs, groundcovers and perennials with the most robust landscaping along Washington Street and Ash Street. All of the trees will have a minimum caliper of 3-3.5". All new trees will be Asian Long-Horned Beetle and Emerald Ash Borer resistant.

**5. Adequacy of useable common property or open space.**

The SMC Project provides for the construction of 2 elevated courtyard areas (one of the south and one of the north side of the New Building) which will include open space and will provide a space for residents to congregate, relax and socialize. The courtyards are expected to be programmed differently with the northerly courtyard intended for informal gatherings with outdoor games, a large fireplace and lounge seating and the southerly courtyard intended for entertaining with grills, dining areas and a pergola. Each of the courtyards will have planters which will add to the natural feel. The New Building will also have interior amenities such as a fitness center, mail room and other common area amenities similar to other multi-family developments in the city.

The SMC Project is also in close proximity to Polar Park and all of the commercial establishments (e.g., Worcester Public Market and Crompton Place) within the Canal District. SMC will encourage its residents to explore the Canal District and integrate themselves into the surrounding community.

**6. Adequacy of fire lanes and other emergency zones and the provisions of fire hydrants.**

The configuration of the New Building will facilitate efficient site circulation for fire trucks and other emergency vehicles. There are existing fire hydrants along Spruce Street, Ash Street, Washington Street and Madison Street.

**7. Special attention to the adequacy of structures, roadways and landscaping in areas with susceptibility to ponding, flooding and/or erosion; adequacy of erosion and sedimentation control measures to be utilized during and after construction.**

The SMC Project's site design and proposed drainage will reduce any susceptibility of ponding, flooding and erosion. The New Lot 3A is located outside of the Floodplain District and ecologically sensitive areas, and there are no wetland resource areas on or adjacent thereto. During construction, appropriate measures will be taken to control erosion, sedimentation and pollution. A Stormwater Pollution Prevention Plan (SWPPP) will be submitted prior to the

commencement of construction activities. The New Lot 3A will remain stabilized upon completion of the construction phase.

**8. Conformance of site design with the purposes and intent of the Worcester Zoning Ordinance.**

The Project is in conformance with the purposes and intent of the Zoning Ordinance, as it will create housing of the type, size and cost suitable for meeting the current and future needs of the City. Moreover, the Project will encourage the most appropriate use of the land in a manner that protects architectural, scenic and aesthetic qualities of the community and protects against the uses of land which are incompatible with nearby uses, undue intensity of noise and danger and congestion in travel and transportation.

The SMC Project's thoughtful site planning and building design will satisfy the purposes and intent of the CCOD by creating a compact development with a compatible land use at an urban density, reusing and redeveloping an existing lot, contributing to a high-quality, pedestrian-scale environment by providing an aesthetically pleasing pedestrian environment that is accessible, compact and inviting, and avoiding over-dedication of land to surface parking through the use of podium style parking. While the New Building will not have commercial ground floor uses like the Approved Project, it will provide a glossy two level amenity space that will be activate the corner of Washington Street and Spruce Street and anchor the New Building both with a darker color façade and open fenestration allowing activity from within the space to be visible from the street level. The SMC Project will comply with the CCOD design guidelines set forth in Article IX, Section 6.B by ensuring that the New Building sits adjacent to the abutting streets and sidewalks, has an accessible primary entrance along Washington Street, presents an active façade with windows, changes in materials, modulation of the façade and the use of the wave sculpture along the sides of the New Building and by extensive landscaping.

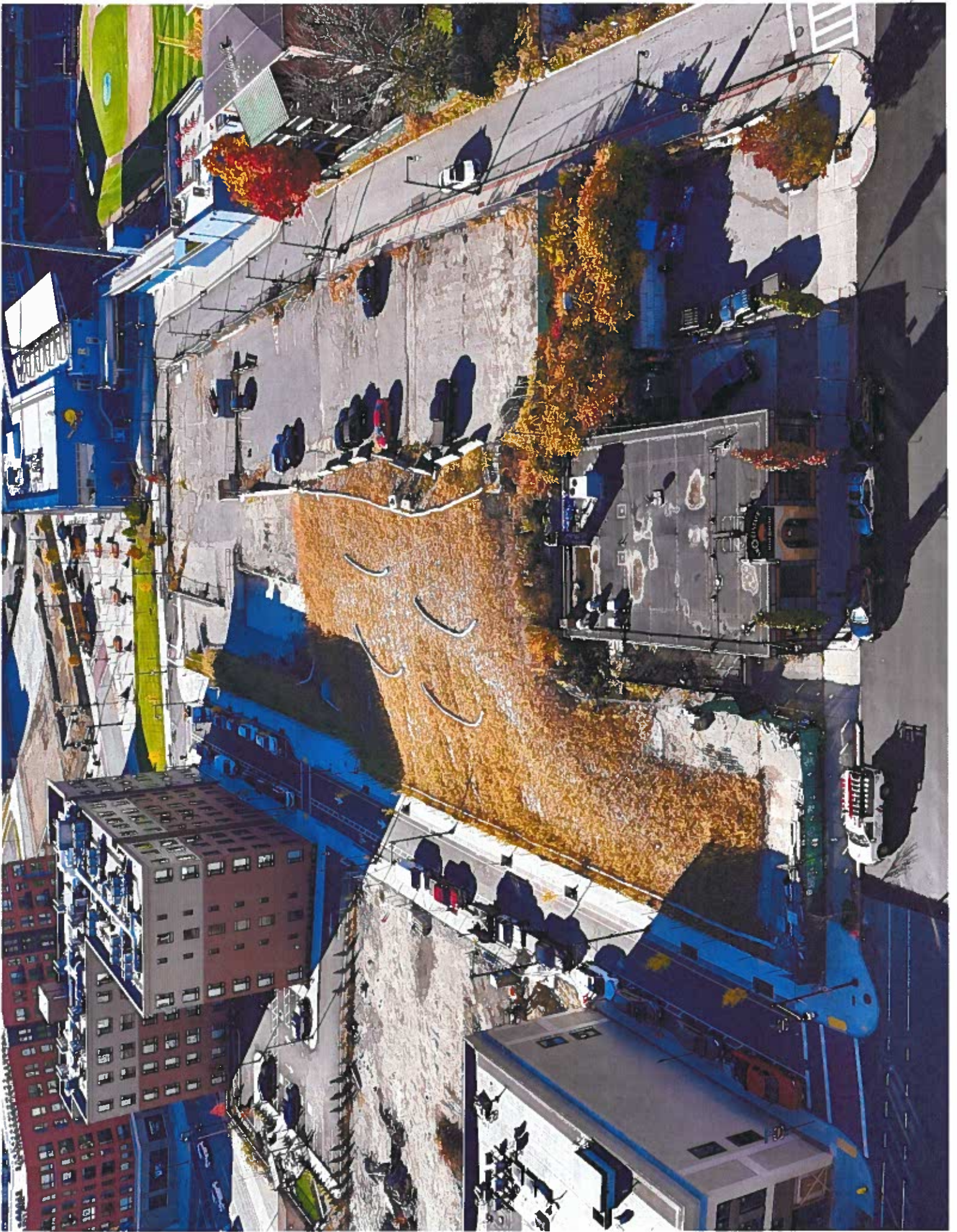
Furthermore, the SMC Project complies with the design requirements of Article IV, Section 7.A.3 of the Zoning Ordinance. There is adequate ingress and egress to the parking areas by means of clearly defined driveways, which are safe, effective and efficient. The proposed driveways, walkways, and landscaping are arranged for safe and convenient access for motorists and pedestrians. Proposed new lighting will be modern in design, and will not have a deleterious effect on or cause a nuisance to neighboring properties or abutting streets.

**9. Conformance and compatibility of the site plan design with structures listed in the most recent State Register of Historic Places.**

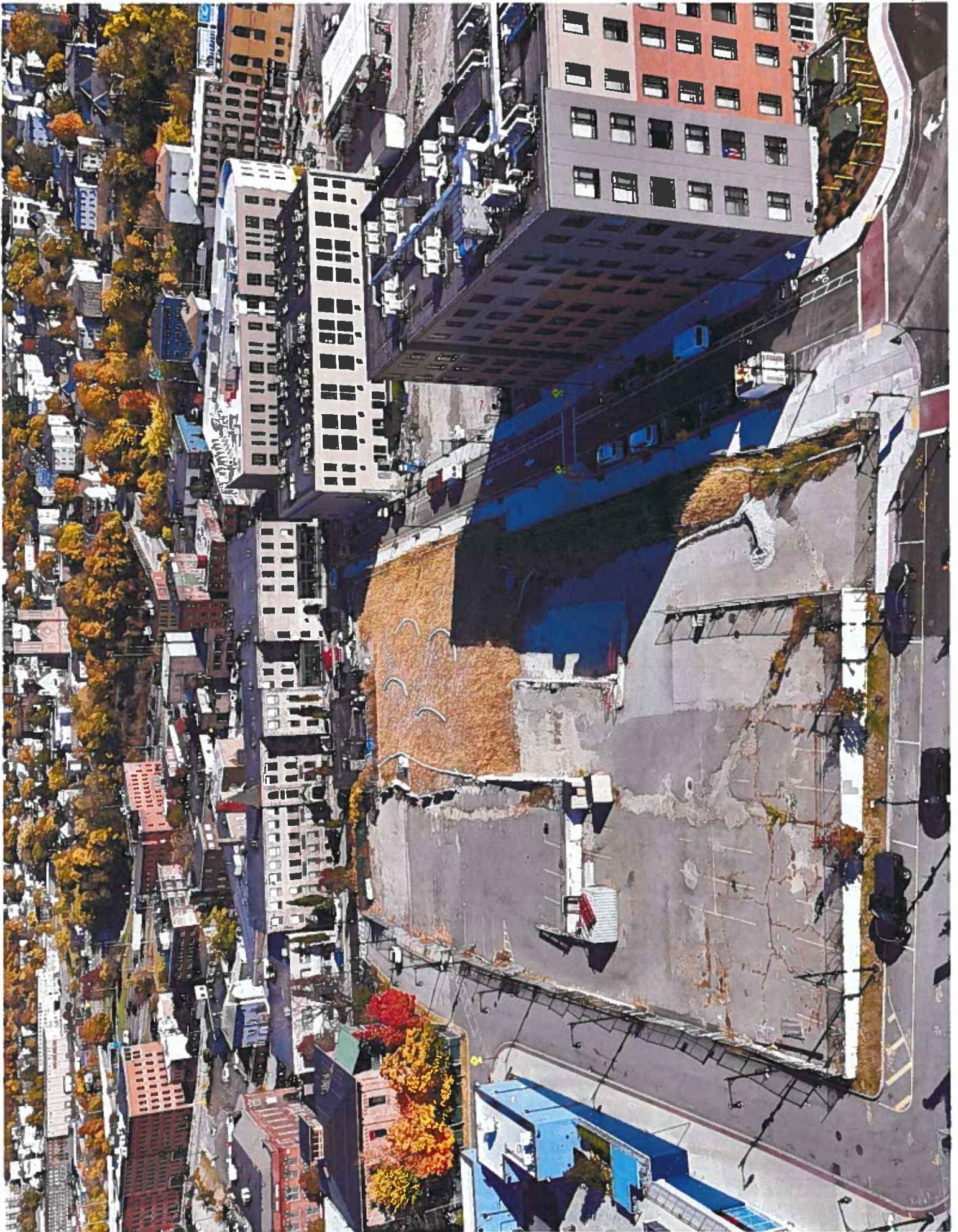
The New Lot 3A is not listed on the National Register of Historic Places or the Massachusetts Cultural Resource Information System (MACRIS) database. The SMC Project will be compatible with historic and non-historic structures in the neighborhood given that New Building will be comparable in size to previously approved buildings.

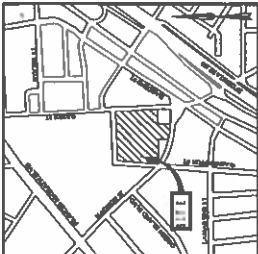
**10. Adequacy and impact on the regional transportation system.**

The SMC Project will not materially impact the regional transportation system as residents of New Building will have sufficient on-site parking, on-site bicycle storage and access to Union Station and existing bus stops in close proximity to the New Lot 3A along Green Street.





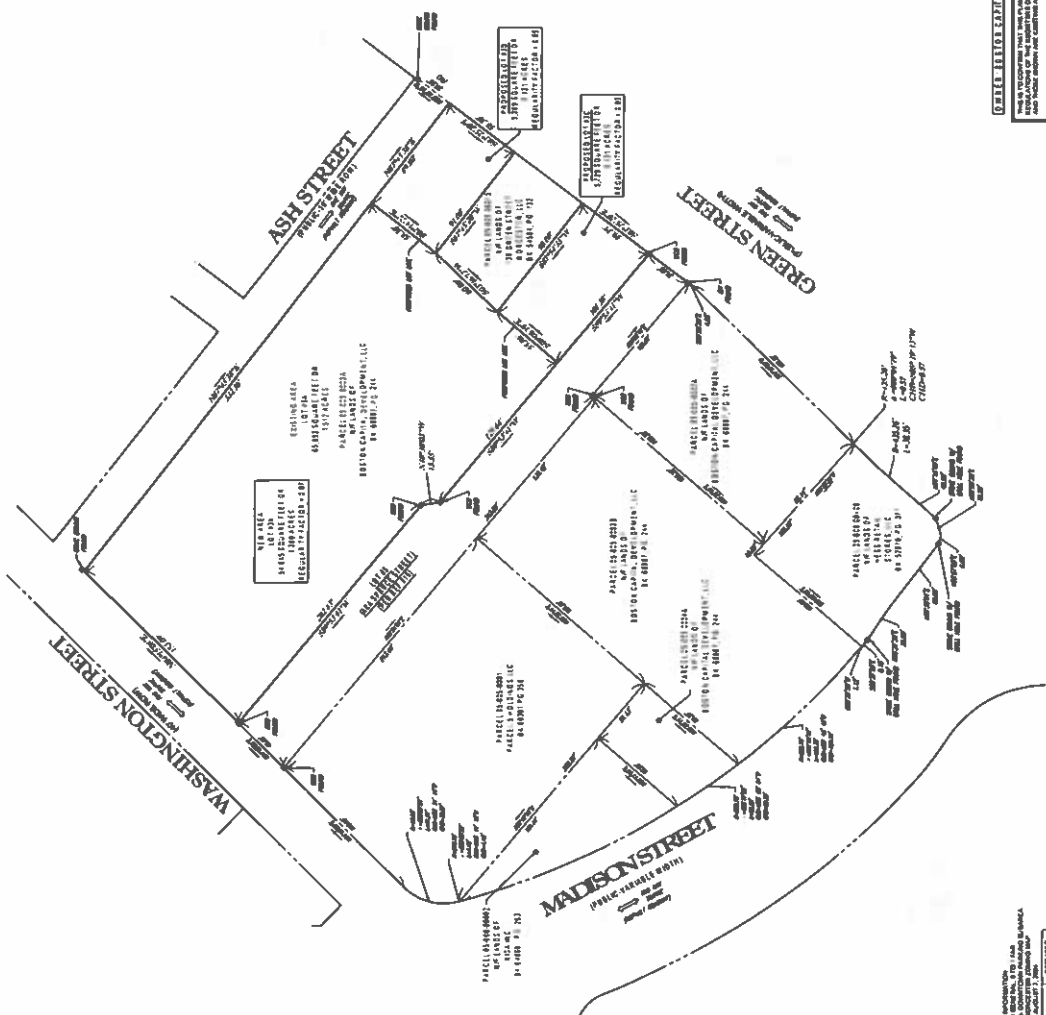




LOCUS 3.4.P  
 2011 with 2008 revision work

- NOTES**
1. THE CITY OF WORCESTER, MASSACHUSETTS, IS THE CITY OF WORCESTER, MASSACHUSETTS COUNTY.
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**LEGEND**

- HORIZONTAL EASEMENT
- HORIZONTAL EASEMENT
- HORIZONTAL EASEMENT

APPROVAL UNDER THE SUBORDINATION  
 CONTROL LAW NOT REQUIRED  
 CITY OF WORCESTER PLANNING BOARD

DATE \_\_\_\_\_

THE PLANNING BOARD'S DISAPPROVAL OF  
 THE PLAN IS NOT REQUIRING APPROVAL.  
 THE PLAN IS NOT REQUIRING APPROVAL.  
 THE PLAN IS NOT REQUIRING APPROVAL.  
 THE PLAN IS NOT REQUIRING APPROVAL.

**GERRIT HOLDING CORPORATION**

APPROVAL NOT REQUIRED UNDER  
 BOSTON CAPITAL DEVELOPMENT, LLC  
 17 WASHINGTON STREET  
 BOSTON, MA 02108

**CONTROL POINT**  
 AN AFFILIATE OF  
 SUBORDINATION, MASSACHUSETTS

NO.	DESCRIPTION	DATE	BY	FOR
011	APPROVAL	03/11/2014	J. L. HOLDING	001
012	APPROVAL	03/11/2014	J. L. HOLDING	001
013	APPROVAL	03/11/2014	J. L. HOLDING	001
014	APPROVAL	03/11/2014	J. L. HOLDING	001

**GERRY L. HOLDING, PLS**  
 100 STATE STREET  
 WORCESTER, MASSACHUSETTS 01602

# SITE DEVELOPMENT PLANS

FOR \_\_\_\_\_



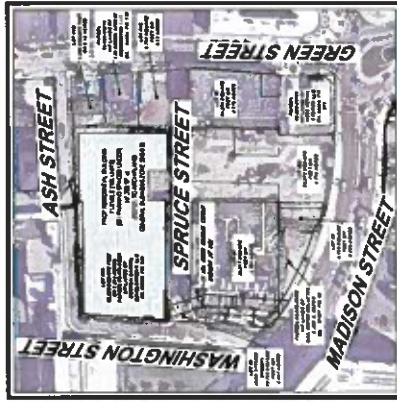
**SMC MANAGEMENT CORPORATION**  
 Real Estate Investment • Development • Asset Management

## PROPOSED RESIDENCES AT TABLE TALK SQUARE

LOCATION OF SITE  
 120 WASHINGTON STREET, CITY OF WORCESTER  
 WORCESTER COUNTY, MASSACHUSETTS  
 MAP 5, BLOCK 5, LOT 0003A

### REFERENCES AND CONTACTS

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- ENGINEER**  
 JAMES M. BOHLER & ASSOCIATES, INC.  
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- PLANNING**  
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- GENERAL CONTRACTOR**  
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 TEL: 508-853-1100



**DEVELOPER**  
 SMC MANAGEMENT CORPORATION  
 175 STATE STREET, SUITE 200  
 WORCESTER, MA 01608

PREPARED BY



CONTACT: AUSTIN TURNER

SHEET NUMBER	SHEET TITLE
C-101	COVER SHEET
C-102	GENERAL NOTES AND DETAILS
C-103	LANDSCAPE PLAN
C-104	CONSTRUCTION DETAILS
C-105	FOUNDATION AND RETENTION WALLS
C-106	FOUNDATION AND RETENTION WALLS
C-107	FOUNDATION AND RETENTION WALLS
C-108	FOUNDATION AND RETENTION WALLS
C-109	FOUNDATION AND RETENTION WALLS
C-110	FOUNDATION AND RETENTION WALLS
C-111	FOUNDATION AND RETENTION WALLS
C-112	FOUNDATION AND RETENTION WALLS
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C-115	FOUNDATION AND RETENTION WALLS
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C-117	FOUNDATION AND RETENTION WALLS
C-118	FOUNDATION AND RETENTION WALLS
C-119	FOUNDATION AND RETENTION WALLS
C-120	FOUNDATION AND RETENTION WALLS

**BOHLER**  
 175 CIVIL AND CIVIL AND ENGINEERING  
 175 STATE STREET, SUITE 200  
 WORCESTER, MA 01608  
 TEL: 508-853-1100

**ENTIREMENT SET**  
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NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
1	GENERAL NOTES				
2	SECTION 01000 - GENERAL NOTES				
3	SECTION 02000 - FOUNDATIONS				
4	SECTION 03000 - CONCRETE				
5	SECTION 04000 - FORMS				
6	SECTION 05000 - REINFORCEMENT				
7	SECTION 06000 - BRICKWORK				
8	SECTION 07000 - BLOCKWORK				
9	SECTION 08000 - STONEWORK				
10	SECTION 09000 - MASONRY				
11	SECTION 10000 - ROOFING				
12	SECTION 11000 - EXTERIOR FINISHES				
13	SECTION 12000 - INTERIOR FINISHES				
14	SECTION 13000 - PAINTS AND COATINGS				
15	SECTION 14000 - METALS				
16	SECTION 15000 - WOODWORK				
17	SECTION 16000 - GLASS AND GLAZING				
18	SECTION 17000 - DOORS AND WINDOWS				
19	SECTION 18000 - PARTITIONS				
20	SECTION 19000 - CEILING				
21	SECTION 20000 - FLOORING				
22	SECTION 21000 - STAIRS				
23	SECTION 22000 - ELEVATORS				
24	SECTION 23000 - MECHANICAL				
25	SECTION 24000 - ELECTRICAL				
26	SECTION 25000 - TELECOMMUNICATIONS				
27	SECTION 26000 - SPECIALTIES				
28	SECTION 27000 - FURNITURE				
29	SECTION 28000 - SIGNAGE				
30	SECTION 29000 - SECURITY				
31	SECTION 30000 - SPECIALTIES				

### GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ANY OBSTRUCTION OF ACCESS SHALL BE IMMEDIATELY REMOVED AT THE CONTRACTOR'S EXPENSE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

4. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES. ALL SAFETY PRECAUTIONS SHALL BE STRICTLY ENFORCED.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND THE ENVIRONMENT. ANY DAMAGE TO ADJACENT PROPERTIES OR THE ENVIRONMENT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

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### SECTION 01000 - GENERAL NOTES

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### SECTION 02000 - FOUNDATIONS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. ANY OBSTRUCTION OF ACCESS SHALL BE IMMEDIATELY REMOVED AT THE CONTRACTOR'S EXPENSE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

4. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES. ALL SAFETY PRECAUTIONS SHALL BE STRICTLY ENFORCED.

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# BOHLER

CITY OF WASHINGTON  
LAND MANAGEMENT  
PROGRAMS  
DEVELOPMENT  
PLANNING  
AND  
CONSTRUCTION

NO.	DATE	DESCRIPTION



ENVIRONMENT	

**MAP 1 (BLK 5) LOT 800A**  
120 WASHINGTON STREET  
WASHINGTON COUNTY  
WASHINGTON STATE

**BOHLER**  
120 WASHINGTON STREET  
WASHINGTON COUNTY  
WASHINGTON STATE

**JAMES K. BOHLER**  
PLANNING & ARCHITECTURE  
120 WASHINGTON STREET  
WASHINGTON COUNTY  
WASHINGTON STATE

**JURISDICTIONAL NOTES**  
C-103

**CONTRACT**  
NO. 100-000000

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**BOHLER**

LAND SURVEYING  
 ARCHITECTURAL ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 CONSULTANTS  
 300 NEWPORT AVENUE  
 SUITE 100  
 WASHINGTON, MA 01972  
 TEL: 508.548.2000  
 FAX: 508.548.2001  
 WWW.BOHLERCORPORATION.COM

**BOHLER**

LAND SURVEYING  
 ARCHITECTURAL ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 CONSULTANTS  
 300 NEWPORT AVENUE  
 SUITE 100  
 WASHINGTON, MA 01972  
 TEL: 508.548.2000  
 FAX: 508.548.2001  
 WWW.BOHLERCORPORATION.COM

**REVISIONS**

NO.	DATE	DESCRIPTION

**811**

Call before you dig.  
 811 is the national number for the public utility safety program.  
 ALWAYS CALL 811  
 24 HOURS A DAY, 7 DAYS A WEEK  
 BEFORE ANY EXCAVATION OR DRILLING.

**ENTITLED BEST**

APPLICABLE TO THE PROJECT AND THE CITY OF WASHINGTON, MASSACHUSETTS.

**SIZE DEVELOPMENT PLANS**

PROPOSED AT TABLE SCALE

**BOHLER**

PROFESSIONAL SURVEYOR  
 STATE OF MASSACHUSETTS  
 REGISTRATION NO. 10172  
 DATE: 03/14/2017

**EXISTING CONDITIONS! DEMOLITION PLAN**

C-201

DATE: 1/11/2017

**JACOBS**

300 NEWPORT AVENUE  
 SUITE 100  
 WASHINGTON, MA 01972  
 TEL: 508.548.2000  
 FAX: 508.548.2001  
 WWW.BOHLERCORPORATION.COM

**REVISIONS**

NO.	DATE	DESCRIPTION



**THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY**

DATE: 1/11/2017

**BOHLER**  
 SITE PLAN, ARCHITECTURAL DRAWINGS  
 LANDSCAPE ARCHITECTURE  
 PROGRAM MANAGEMENT  
 LANDMARKS  
 TRANSPORTATION SERVICES

**REVISIONS**

NO.	DATE	DESCRIPTION
1	01/11/17	ISSUED FOR PERMITS

**188**  
 ALWAYS CALL 911  
 Call before you dig

**EXHIBIT EET**  
 2017 JUL 11 10:30 AM  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**SITE DEVELOPMENT PLANS**  
 SMC  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**BOHLER**  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**J.A. HANCOCK**  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**SITE PLAN**  
 C-301

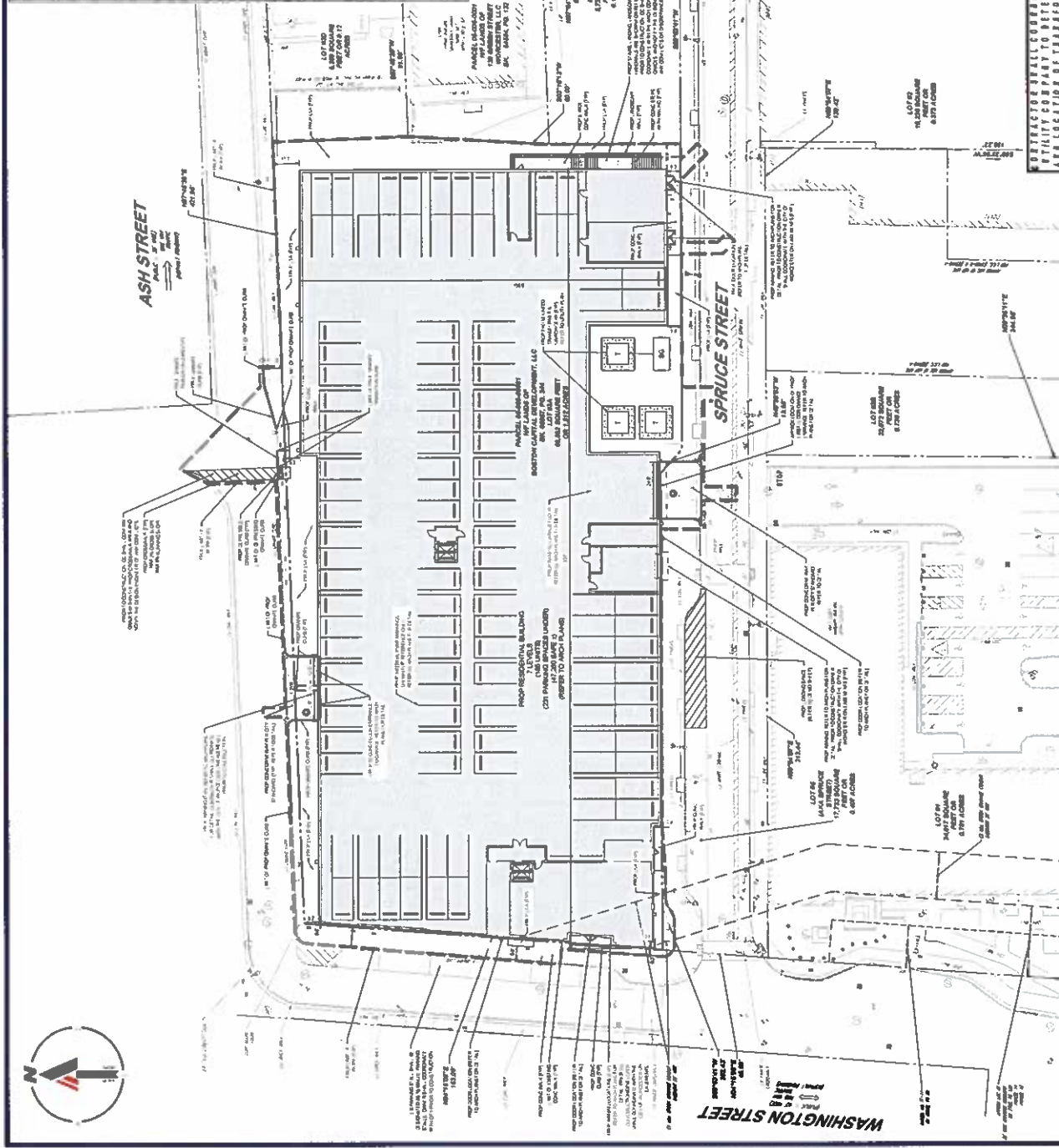
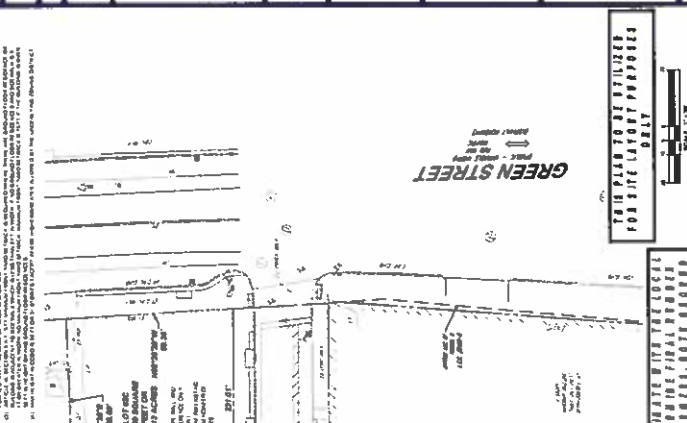
**ZONING TABLE**

APPLICABLE ZONING INFORMATION

ITEM	REQUIREMENT	EXISTING	PROPOSED
1	USE	INDUSTRIAL	INDUSTRIAL
2	LOT AREA	10,000 SQ FT	10,000 SQ FT
3	SETBACKS	10 FT	10 FT
4	HEIGHT	35 FT	35 FT
5	COVERAGE	25%	25%

**PARTICULARS**

ITEM	REQUIREMENT	EXISTING	PROPOSED
1	USE	INDUSTRIAL	INDUSTRIAL
2	LOT AREA	10,000 SQ FT	10,000 SQ FT
3	SETBACKS	10 FT	10 FT
4	HEIGHT	35 FT	35 FT
5	COVERAGE	25%	25%



**BOHLER**  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**BOHLER**  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**BOHLER**  
 100 STATE STREET  
 SUITE 200  
 BOSTON, MA 02109

**BOHLER**  
 INC. CIVIL AND CONSULTING ENGINEERS  
 1600 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, DC 20004  
 PHONE: 202-872-9100  
 FAX: 202-872-9101  
 WWW.BOHLERINC.COM

NO.	DATE	REVISIONS
1		ISSUE FOR PERMITTING

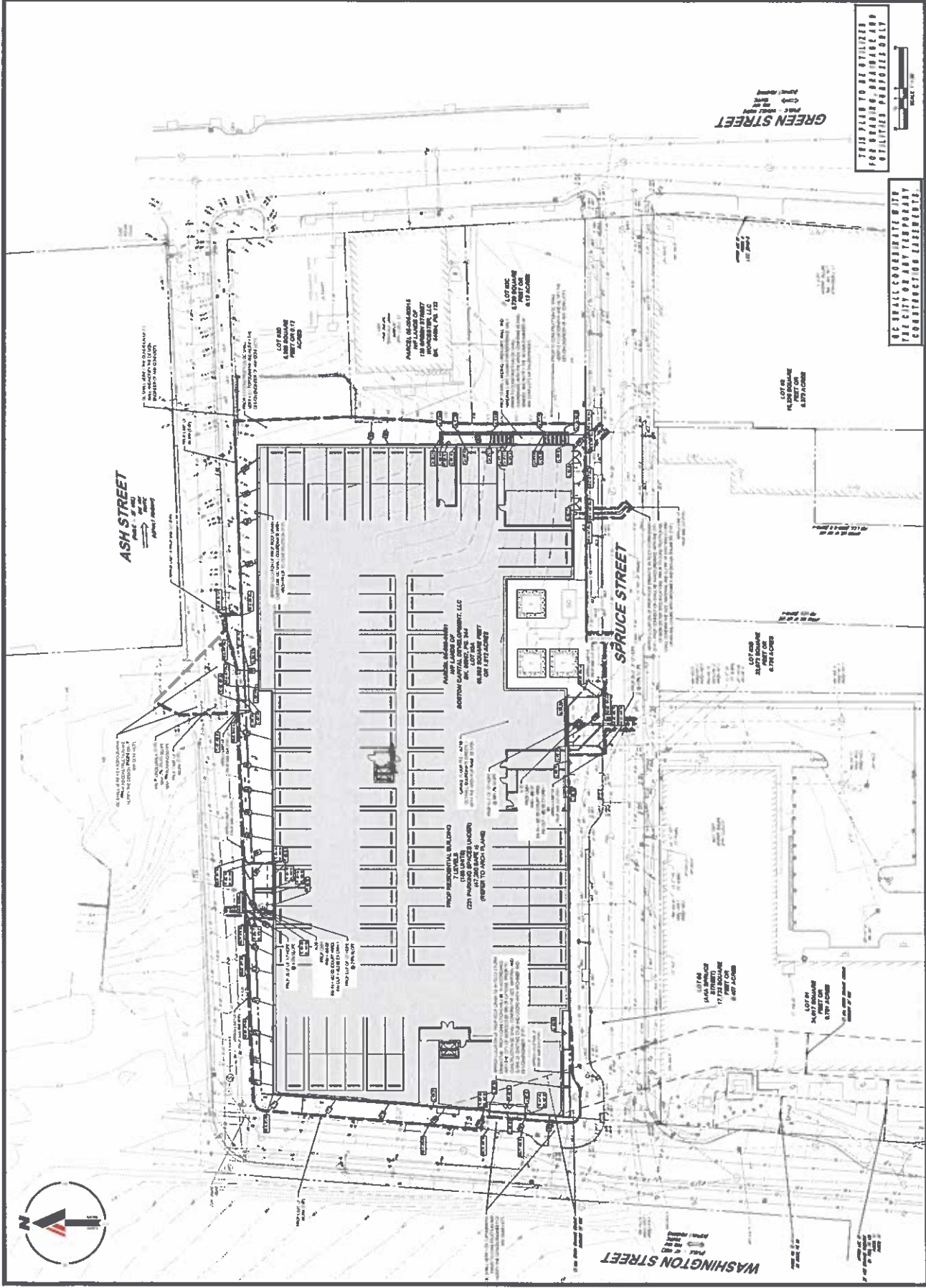
**811**  
 Call Before You Dig  
 1-800-4-A-DAWG  
 877-999-9464  
 www.811.com

**BOHLER**  
 INC. CIVIL AND CONSULTING ENGINEERS  
 1600 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, DC 20004  
 PHONE: 202-872-9100  
 FAX: 202-872-9101  
 WWW.BOHLERINC.COM

**SITE DEVELOPMENT PLAN**  
 FOR  
  
 SBC  
 1600 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, DC 20004  
 PHONE: 202-872-9100  
 FAX: 202-872-9101  
 WWW.BOHLERINC.COM

**BOHLER**  
 INC. CIVIL AND CONSULTING ENGINEERS  
 1600 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, DC 20004  
 PHONE: 202-872-9100  
 FAX: 202-872-9101  
 WWW.BOHLERINC.COM

**GRADING AND DRAINAGE PLAN**  
 C-401  
 CNO. DATE: 05/20/2008



THIS PLAN TO BE UTILIZED FOR GRADING, DRAINAGE AND UTILITIES PURPOSES ONLY

BE SHALL COORDINATE WITH THE CITY OR ANY TEMPORARY CONSTRUCTION ELEMENTS.



REVISIONS	
NO.	DATE

**816**  
Professional Engineer  
Professional Land Surveyor  
Professional Architect  
Professional Landscape Architect  
Professional Engineer  
Professional Surveyor

**ENTITLED SET**  
PLANS FOR THE DEVELOPMENT OF A  
RESIDENTIAL COMMUNITY  
CONSISTING OF 107 UNITS  
ON LOT 660 & 661  
CITY OF WASHINGTON  
COUNTY, MARYLAND

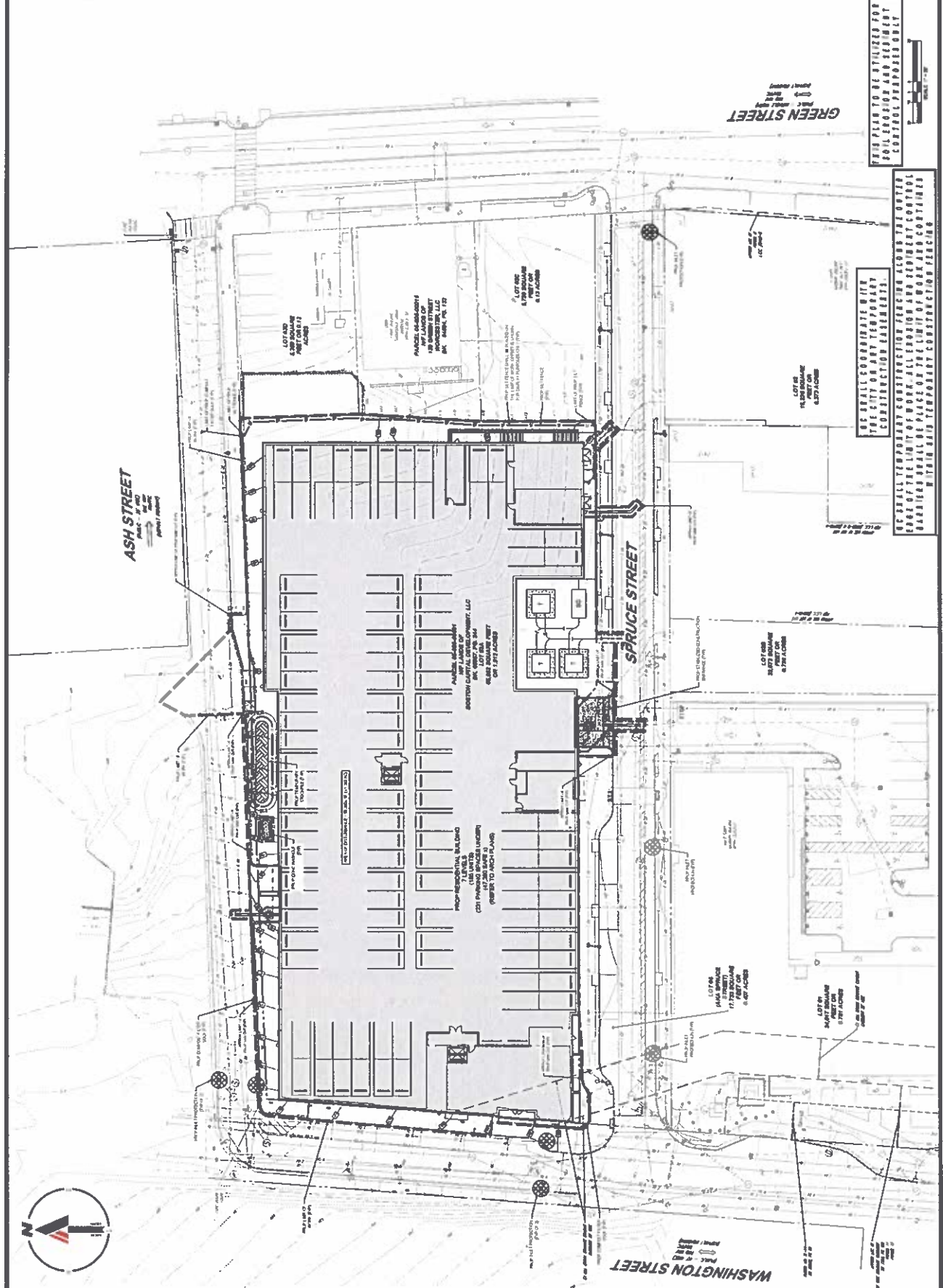
**BOHLER**  
1800 WASHINGTON BLVD., SUITE 200  
BETHESDA, MD 20814  
301-241-1100  
www.bohler.com

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301-241-1100  
www.bohler.com



THIS PLAN IS TO BE UTILIZED FOR  
SOIL EROSION AND SEDIMENT  
CONTROL PURPOSES ONLY

WE SHALL COORDINATE WITH  
THE CITY ON ANY TEMPORARY  
CONSTRUCTION FENCING.

WE SHALL COORDINATE WITH  
THE CITY ON ANY TEMPORARY  
CONSTRUCTION FENCING.

WE SHALL COORDINATE WITH  
THE CITY ON ANY TEMPORARY  
CONSTRUCTION FENCING.

SCALE: 1"=20'

WE SHALL COORDINATE WITH  
THE CITY ON ANY TEMPORARY  
CONSTRUCTION FENCING.







**BOHLER**  
 4875 ONE AND ONE EIGHT EIGHTS  
 LABORATORY AND TESTING  
 INDUSTRIAL AND RESIDENTIAL  
 INSPECTION SERVICES  
 SURVEYING AND DESIGN  
 LANDSCAPE ARCHITECTURE  
 TRAFFIC ENGINEERING  
 TRANSPORTATION SERVICES

**REVISIONS**

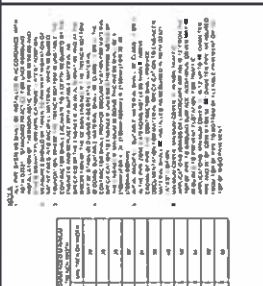
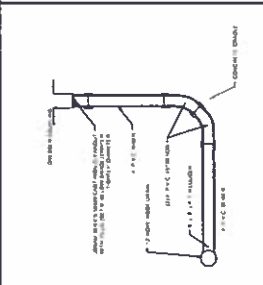
NO.	DATE	BY	DESCRIPTION

**118**  
 Professional Seal  
 Surveying and Mapping  
 License No. 118000  
 Exp. Date 12/31/2014

**ENTIREMENT SET**  
 CONSTRUCTION DOCUMENTS  
 PROJECT NO. 111218  
 PREPARED BY J. R. BOHLER  
 CHECKED BY J. R. BOHLER  
 DATE 11/13/14

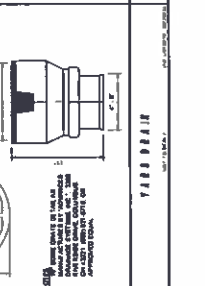
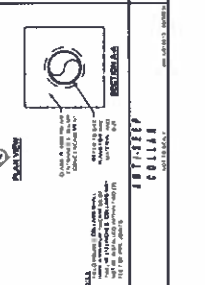
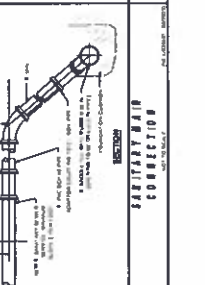
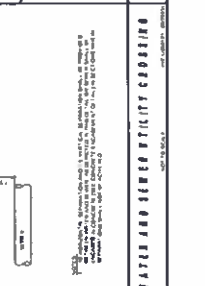
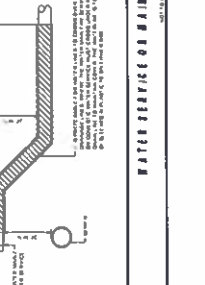
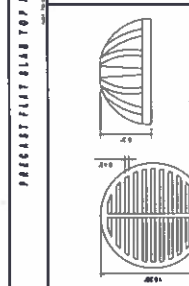
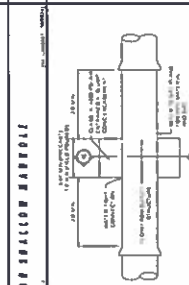
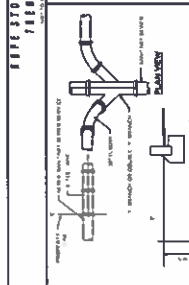
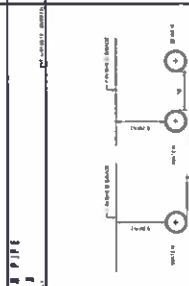
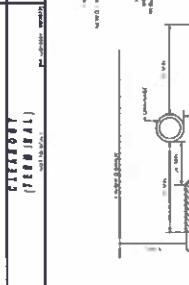
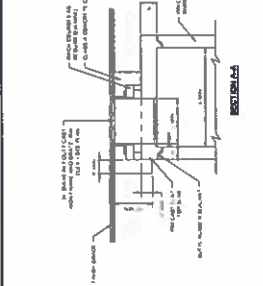
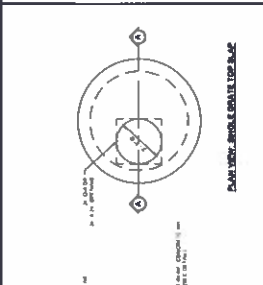
**SITE DEVELOPMENT PLANS**  
 PWS  
 SMC  
 300 D. J. O'NEAL, JR. LOT 10000A  
 1300 WESTWIND STREET  
 WASHINGTON COUNTY  
 MASSACHUSETTS  
**BOHLER**  
 4875 ONE AND ONE EIGHT EIGHTS  
 LABORATORY AND TESTING  
 INDUSTRIAL AND RESIDENTIAL  
 INSPECTION SERVICES  
 SURVEYING AND DESIGN  
 LANDSCAPE ARCHITECTURE  
 TRAFFIC ENGINEERING  
 TRANSPORTATION SERVICES

**CONSTRUCTION DETAILS**  
**C-902**  
 SHEET NO. 1  
 SHEET DATE: 11/30/14



**PIPE SIZES AND WEIGHTS**

PIPE SIZE (IN)	WEIGHT (LBS/FT)
8	11.8
10	16.6
12	22.0
15	32.4
18	43.0
21	54.0
24	66.0
30	90.0
36	115.0
42	140.0
48	170.0
54	205.0
60	245.0



ARTS, CIVIL AND GENERAL ENGINEERING  
 LAND SURVEYING  
 PROGRAM MANAGEMENT  
 LABORATORY ARCHITECTURE  
 LABORATORY DESIGN  
 PLANNING SERVICES  
 TRANSPORTATION SERVICES

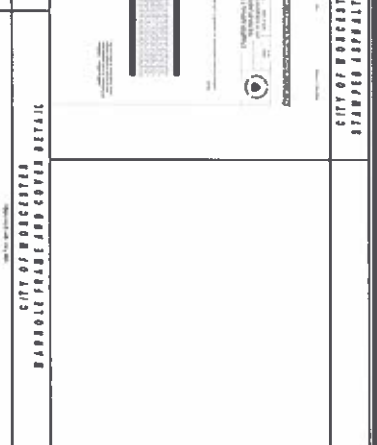
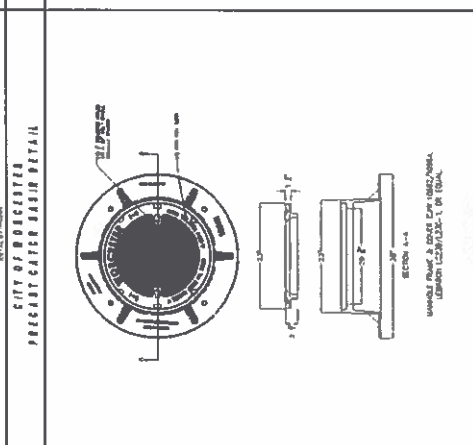
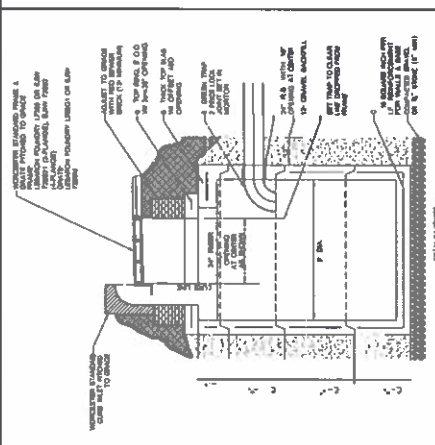
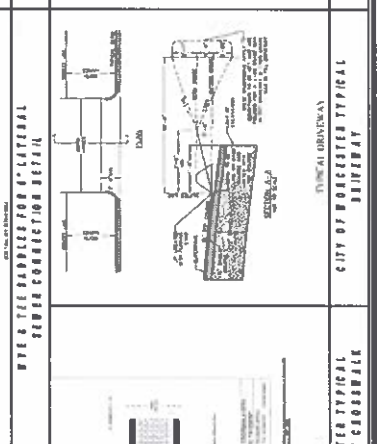
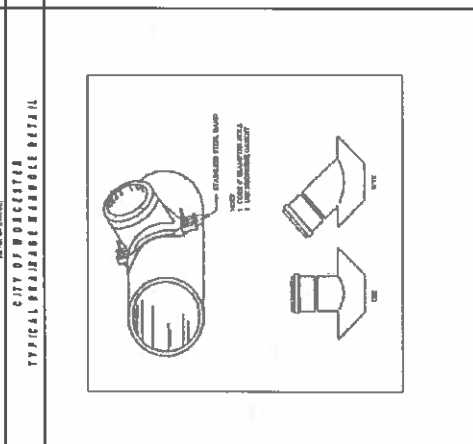
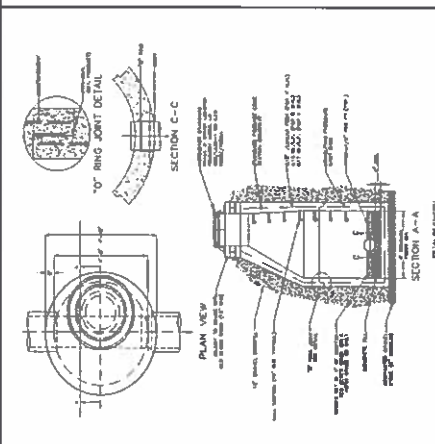
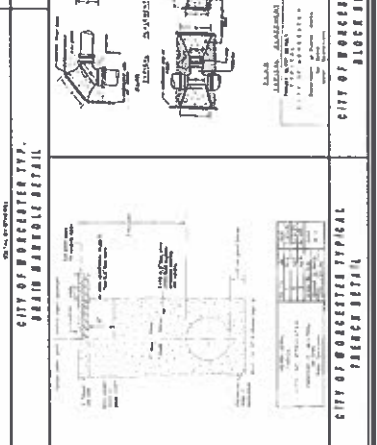
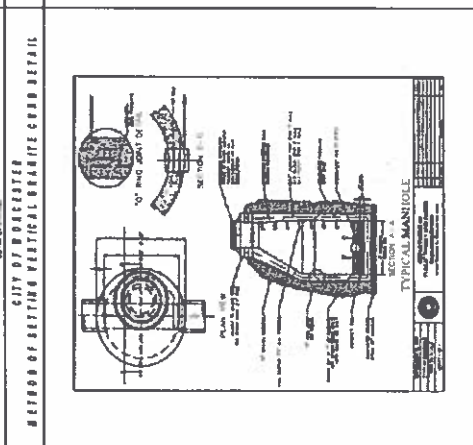
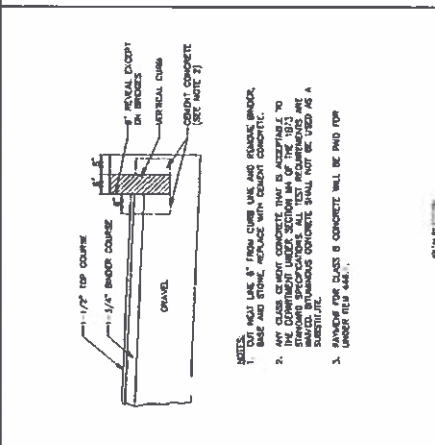
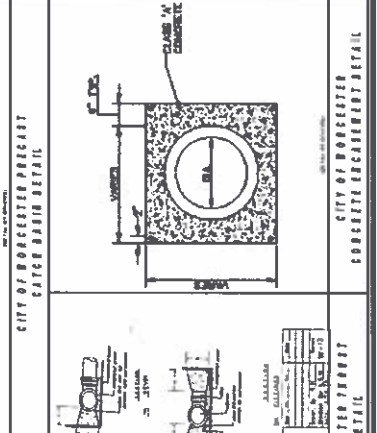
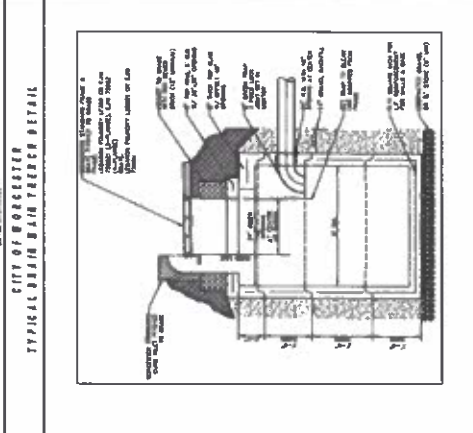
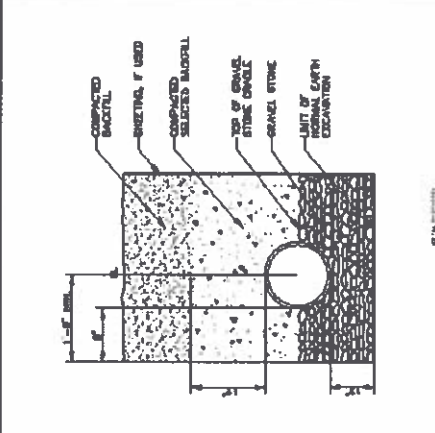


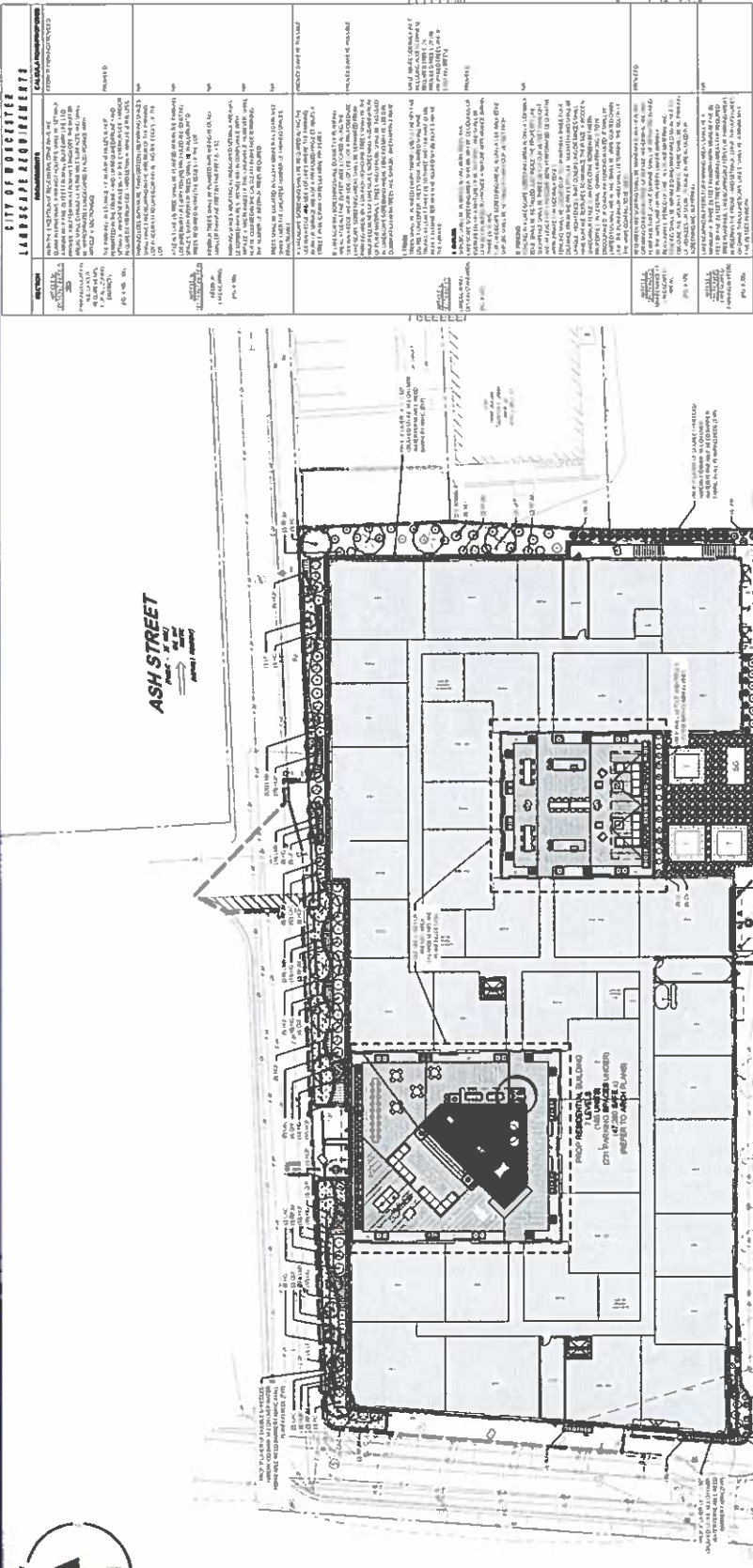
811  
 CALL BEFORE YOU DIG  
 WE'LL FIND ANY AND ALL UTILITIES FOR YOU.

**ENTIREMENT SET**  
 PROJECT NO. 2017-001  
 DRAWING NO. C-903  
 SHEET NO. 1 OF 1

**BOHLER**  
 1000 W. 10TH AVENUE, SUITE 100  
 DENVER, COLORADO 80202  
 PHONE: (303) 733-1000  
 WWW.BOHLERENGINEERING.COM

**CONSTRUCTION DETAILS**  
**C-903**  
 DATE: 08/15/2017





**CITY OF DORCHESTER LANDSCAPE REQUIREMENTS**

SECTION	DESCRIPTION
1.01	GENERAL NOTES: SEE PLAN SHEET L-100 FOR GENERAL NOTES AND SPECIFICATIONS.
1.02	PLANTING: ALL PLANTS MUST BE INSTALLED BY THE CONTRACTOR AND MAINTAINED THROUGHOUT CONSTRUCTION. PLANTS MUST BE INSTALLED IN ACCORDANCE WITH THE CITY OF DORCHESTER PLANTING SPECIFICATIONS.
1.03	IRRIGATION: THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM AS SHOWN ON THE PLAN. THE SYSTEM SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
1.04	LANDSCAPING: THE CONTRACTOR SHALL MAINTAIN ALL EXISTING LANDSCAPING THROUGHOUT CONSTRUCTION. ALL NEW LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
1.05	SOILS: ALL SOILS MUST BE TESTED AND FOUND TO BE SUITABLE FOR PLANTING. IF NOT SUITABLE, THE CONTRACTOR SHALL AMEND THE SOILS TO MEET THE CITY OF DORCHESTER SOILS SPECIFICATIONS.
1.06	EROSION CONTROL: THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS SHOWN ON THE PLAN. THE MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
1.07	ACCESSIBILITY: ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF DORCHESTER ACCESSIBILITY SPECIFICATIONS.
1.08	PLANTING SCHEDULE: ALL PLANTS MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF DORCHESTER PLANTING SCHEDULE.
1.09	PLANTING SPECIFICATIONS: ALL PLANTS MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF DORCHESTER PLANTING SPECIFICATIONS.
1.10	PLANTING MAINTENANCE: ALL PLANTS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE MAINTENANCE RECORDS AS SHOWN ON THE PLAN.

**PLANT SCHEDULE PERMITTER**

CODE	CITY	PLANT NAME	COMMON NAME	SIZE	QUANTITY
1.01					
1.02					
1.03					
1.04					
1.05					
1.06					
1.07					
1.08					
1.09					
1.10					

**OTHER REQUIREMENT RESPONSIBILITIES**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DORCHESTER AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES AND STRUCTURES THROUGHOUT CONSTRUCTION. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF DORCHESTER SPECIFICATIONS AND STANDARDS.

**THIS PLAN TO BE UTILIZED FOR  
LANDSCAPE PREPARED ONLY**

**REFER LANDSCAPE NOTES 4  
DETAIL SHEET FOR LANDSCAPE**



**BOHLER**  
LANDSCAPING SERVICES  
1000 WEST 10TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.BOHLERLANDSCAPE.COM

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

**108 ADVISORS**  
108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

**ENTIREMENT SET**

108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

**SITE DEVELOPMENT PLANS**

108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

**BOHLER**

108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

**OVERALL LANDSCAPE PLAN**

108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

**L-101**

108 ADVISORS, LLC  
108 ADVISORS, LLC  
108 ADVISORS, LLC

REV	DATE	COMMENTS

**181** DENVER

8200 E. COLFAX AVENUE, SUITE 200, DENVER, CO 80231

PROJECT NO.	
DATE	
BY	
CHECKED BY	
DATE	

**TMC**

THE METRO CENTER

1815 WEST WASHINGTON STREET, SUITE 1000, DENVER, CO 80202

**BOHLER**

1815 WEST WASHINGTON STREET, SUITE 1000, DENVER, CO 80202

ARCHITECTS



**LANDSCAPE PLAN ENLARGEMENTS**

**L-102**

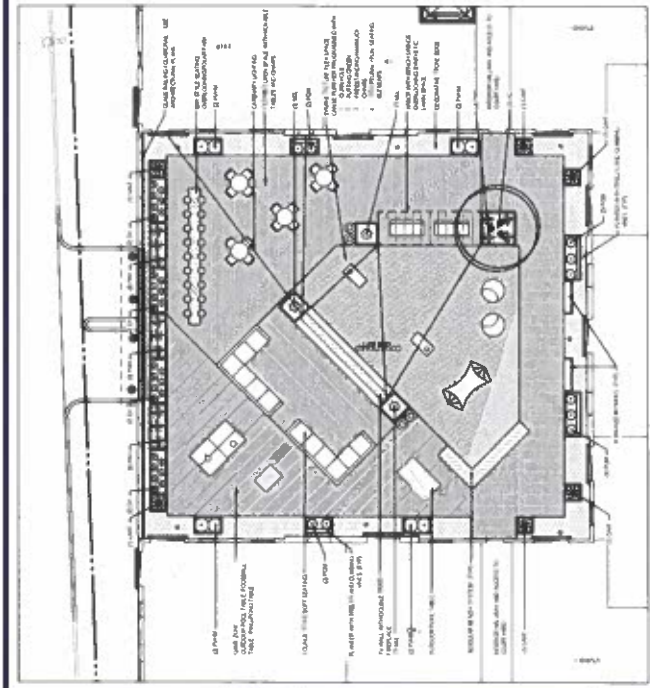
DATE: 01/15/2024

**PLANT SCHEDULE NORTH COURTYARD**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
N					

**PLANT SCHEDULE SOUTH COURTYARD**

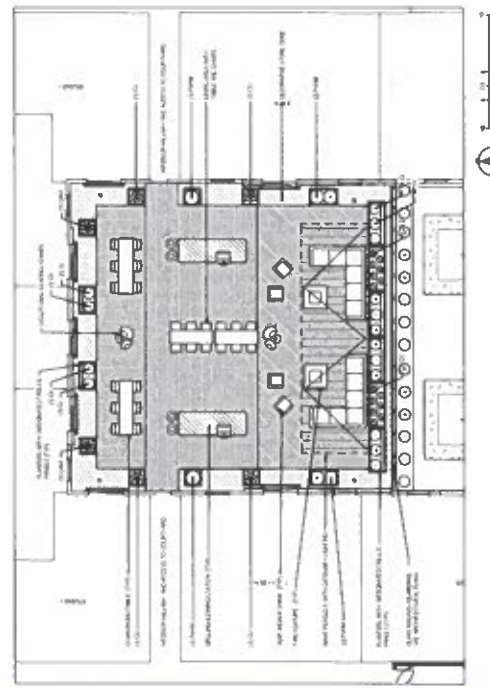
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
S					



**NORTH COURTYARD PLAN ENLARGEMENT**

**PLANT SCHEDULE SOUTH COURTYARD**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER



**SOUTH COURTYARD PLAN ENLARGEMENT**



**ARCH - HAVE ELEMENTS TO COMPLEMENT BUILDING FACADE**



**OUTDOOR SEATING AREA - FORMAL AND INFORMAL TABLE**



**GLASS RAILING AND PLANTERS**



**COURTYARD WITH STONE PAVES AND TREES**



**PERGOLA WITH PLANTERS**



**DECORATIVE STONE PERIMETER WALLS**



**WOODEN DECK WITH GLASS RAILING**



**COURTYARD WITH BENCHES AND TREES**



**TABLES, CHAIRS, PLANTERS AND SURFACE MATERIALS**



**PERGOLA, BENCHES AND TREES**



**GREEN SCREEN PLANTER WITH CLIMBING VINES**

**PRECEDENT IMAGES**

NOTE: PRECEDENT IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY

**REVISIONS**

NO.	DATE	COMMENTS

**PROJECT INFORMATION**

PROJECT NO. 103-01  
PROJECT NAME: ...  
CLIENT: ...  
DATE: ...

**SCALE**

1" = 4'-0"

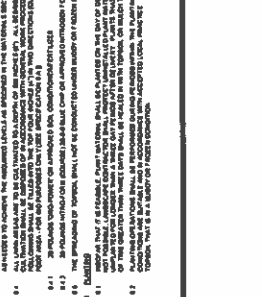
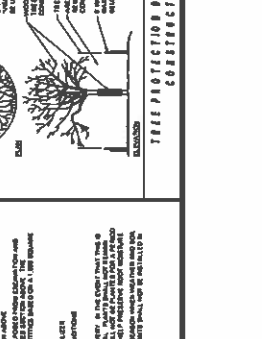
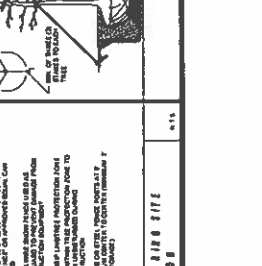
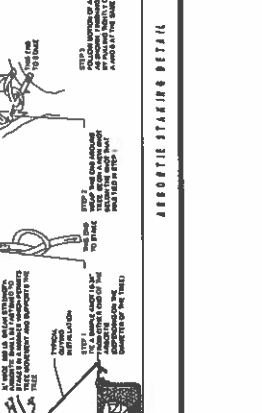
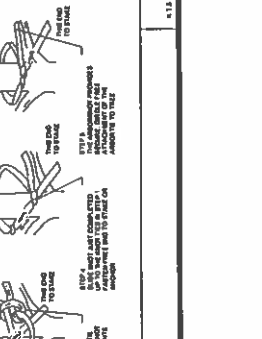
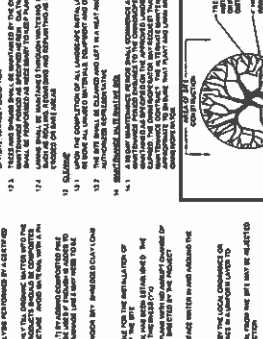
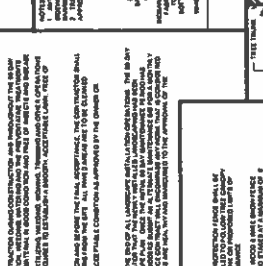
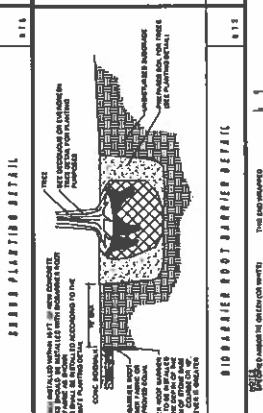
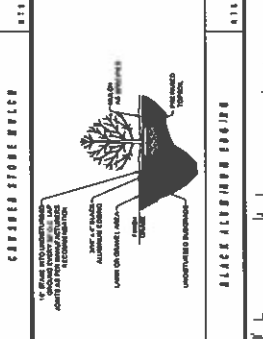
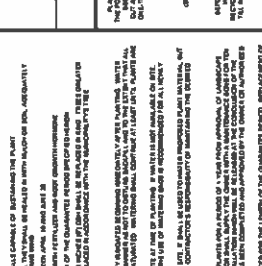
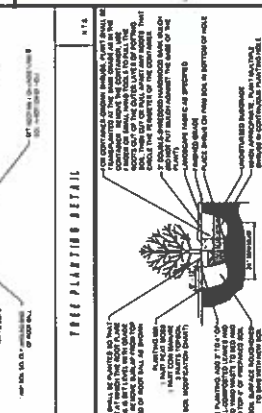
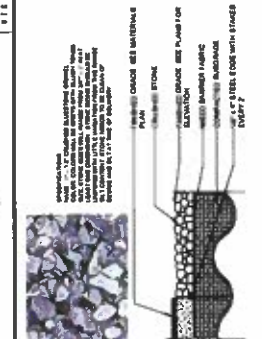
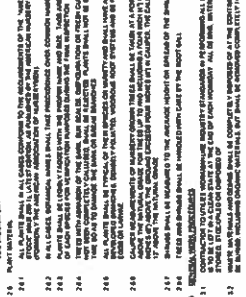
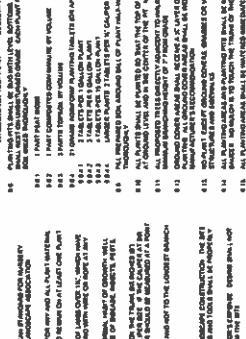
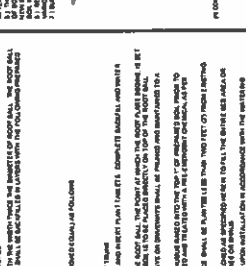
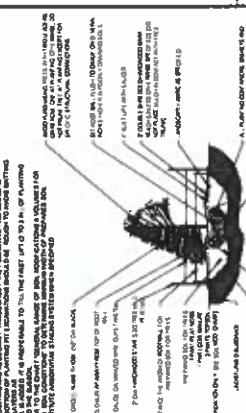
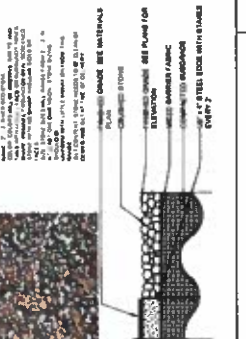


**BOHLER LANDSCAPE NOTES AND DETAILS**

**DATE:** ...  
**PROJECT:** ...

**LANDSCAPE SPECIFICATIONS**

81. ALL EXISTING TREES TO REMAIN SHALL BE MAINTAINED AND PROTECTED TO REMAIN TO PLANT THE NEW DESIGN...
82. ALL EXISTING TREES TO BE REMOVED SHALL BE MAINTAINED AND PROTECTED TO REMAIN TO PLANT THE NEW DESIGN...
83. ...
84. ...
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99. ...
100. ...





# BOHLER

BOHLER ARCHITECTURAL ILLUMINATION GROUP  
1220 BRUNNEN DRIVE, SUITE 300  
SOUTHINGTON, CT 06488  
TEL: (860) 261-3333  
WWW.BOHLER.COM

REVISIONS

NO.	DATE	DESCRIPTION

ALWAYS CALL 811  
BEFORE YOU DIG  
188

**LED WALL LUMINAIRE BARROO HEAD FORWARD**

**Type:** LED Wall Luminaire  
**Finish:** RAL 9005  
**Mounting:** Flush

**Product Description:** The Barroo Head Forward luminaire is a wall-mounted luminaire with a rectangular head and a long, narrow body. It features a minimalist design with a brushed metal finish and a clear lens. The luminaire is designed for use in modern interior spaces, providing ambient lighting and architectural accents.

**Technical Specifications:**

- Power: 10W
- Voltage: 120V
- Beam Angle: 10°
- Color Temperature: 3000K
- Material: Aluminum
- Dimensions: 150mm x 100mm x 100mm

**Installation:** The luminaire is designed for flush mounting to a wall. It requires a standard 120V electrical connection with a neutral ground. The mounting bracket is made of aluminum and is compatible with most wall types.

**LED WALL LUMINAIRE BARROO HEAD FORWARD**

**Type:** LED Wall Luminaire  
**Finish:** RAL 9005  
**Mounting:** Flush

**Product Description:** This luminaire is identical to the one above but is shown from a different perspective to highlight its depth and the texture of the aluminum housing.

**Technical Specifications:**

- Power: 10W
- Voltage: 120V
- Beam Angle: 10°
- Color Temperature: 3000K
- Material: Aluminum
- Dimensions: 150mm x 100mm x 100mm

**Installation:** See the previous page for detailed installation instructions.

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**Finish:** RAL 9005  
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- Beam Angle: 10°
- Color Temperature: 3000K
- Material: Aluminum
- Dimensions: 150mm x 100mm x 100mm

**Installation:** See the previous page for detailed installation instructions.

ENTIREMENT  
PROJECT NO.  
DATE  
SHEET NO.  
SHEET TOTAL

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

**SITE DEVELOPMENT PLANS**

**PROJECT:** [Project Name]  
**DATE:** [Date]  
**SHEET NO.:** [Sheet Number]  
**SHEET TOTAL:** [Sheet Total]

BOHLER ARCHITECTURAL ILLUMINATION GROUP

1220 BRUNNEN DRIVE, SUITE 300

SOUTHINGTON, CT 06488

TEL: (860) 261-3333

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SOUTHINGTON, CT 06488

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BOHLER ARCHITECTURAL ILLUMINATION GROUP

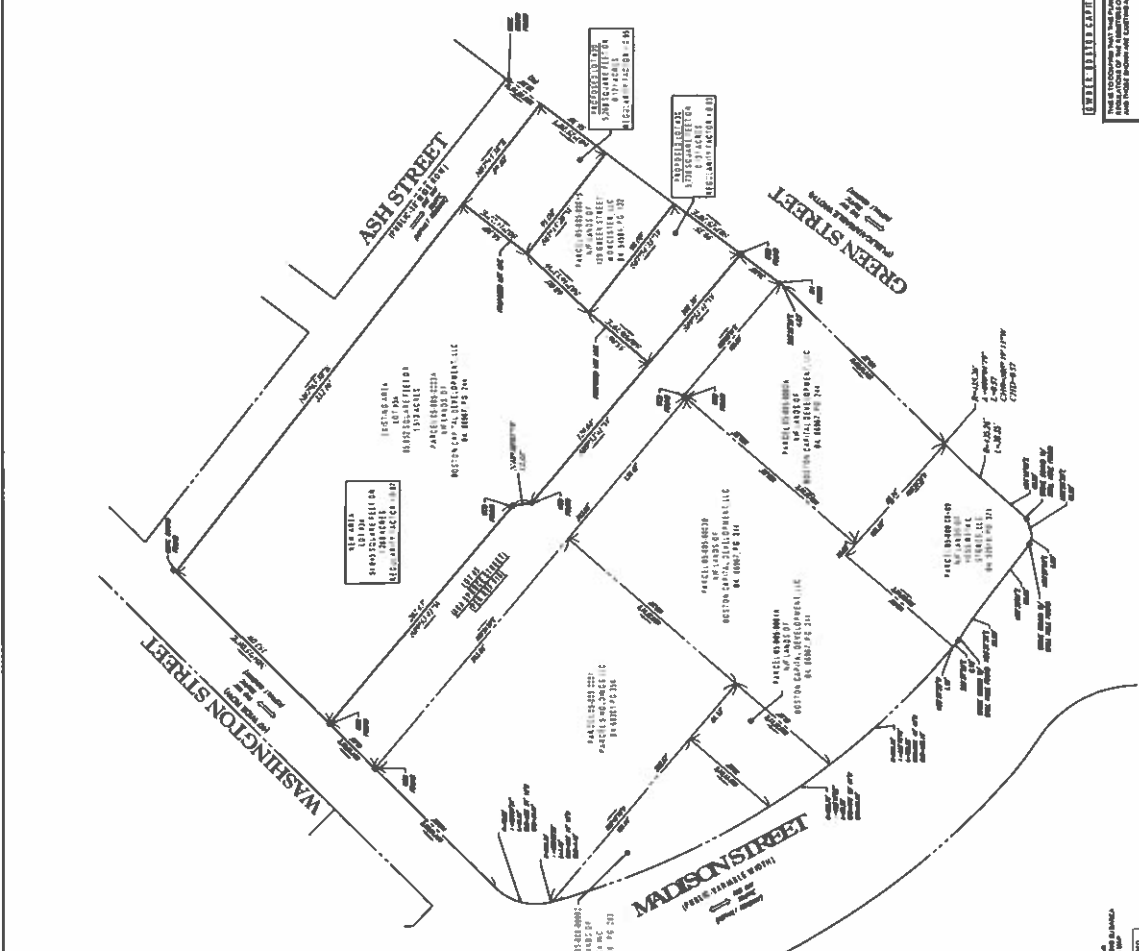
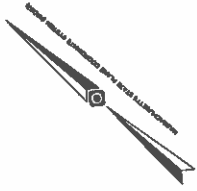
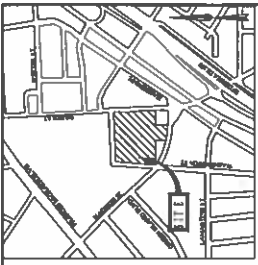
1220 BRUNNEN DRIVE, SUITE 300

SOUTHINGTON, CT 06488

TEL: (860) 261-3333

WWW.BOHLER.COM





FOR REGISTERED USE ONLY

- NOTES**
1. PROPERTY LINES AS SHOWN SHALL BE VALID UNLESS OTHERWISE INDICATED BY A SURVEYOR'S REPORT.
  2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE INDICATED.
  3. THE LOCATION OF ALL UTILITIES IS SHOWN AS OF THE DATE OF THE SURVEY.
  4. THE LOCATION OF ALL UTILITIES IS SHOWN AS OF THE DATE OF THE SURVEY.

- REFERENCES**
1. THE CITY OF WORCESTER, MASSACHUSETTS. COMPASSIONATE CARE ACT.
  2. THE CITY OF WORCESTER, MASSACHUSETTS. ZONING ORDINANCE.
  3. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  4. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  5. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  6. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
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  12. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  13. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  14. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  15. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  16. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  17. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.
  18. THE CITY OF WORCESTER, MASSACHUSETTS. PLANNING BOARD REGULATIONS.

**APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED**  
CITY OF WORCESTER PLANNING BOARD

CHURMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

THE PLANNING BOARD'S CONSENT OF THE PLAN IS NOT REQUIRED APPROVAL AND NO DETERMINATION AS TO THE CONFORMANCE WITH REGULATIONS OF THE CITY OF WORCESTER IS MADE.

**APPROVAL NOT REQUIRED PER ORD. 1037X CAPITAL DEVELOPMENT, LLC**

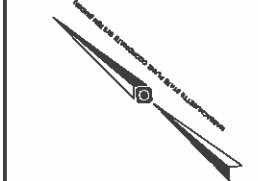
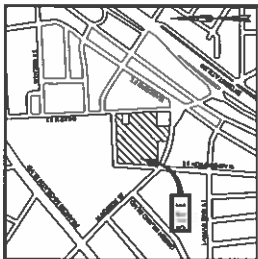
CITY OF WORCESTER  
COMMISSIONER OF MASSACHUSETTS

**CONTROL POINT ASSOCIATES, INC.**  
200 WASHINGTON STREET  
WORCESTER, MASSACHUSETTS 01601  
TEL: 508-853-1111  
WWW.CONTROLPPOINT.COM

**GERRY L. HOLDRIGHT, PLS**  
REGISTERED PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 40'

DATE: \_\_\_\_\_



**NOTE**

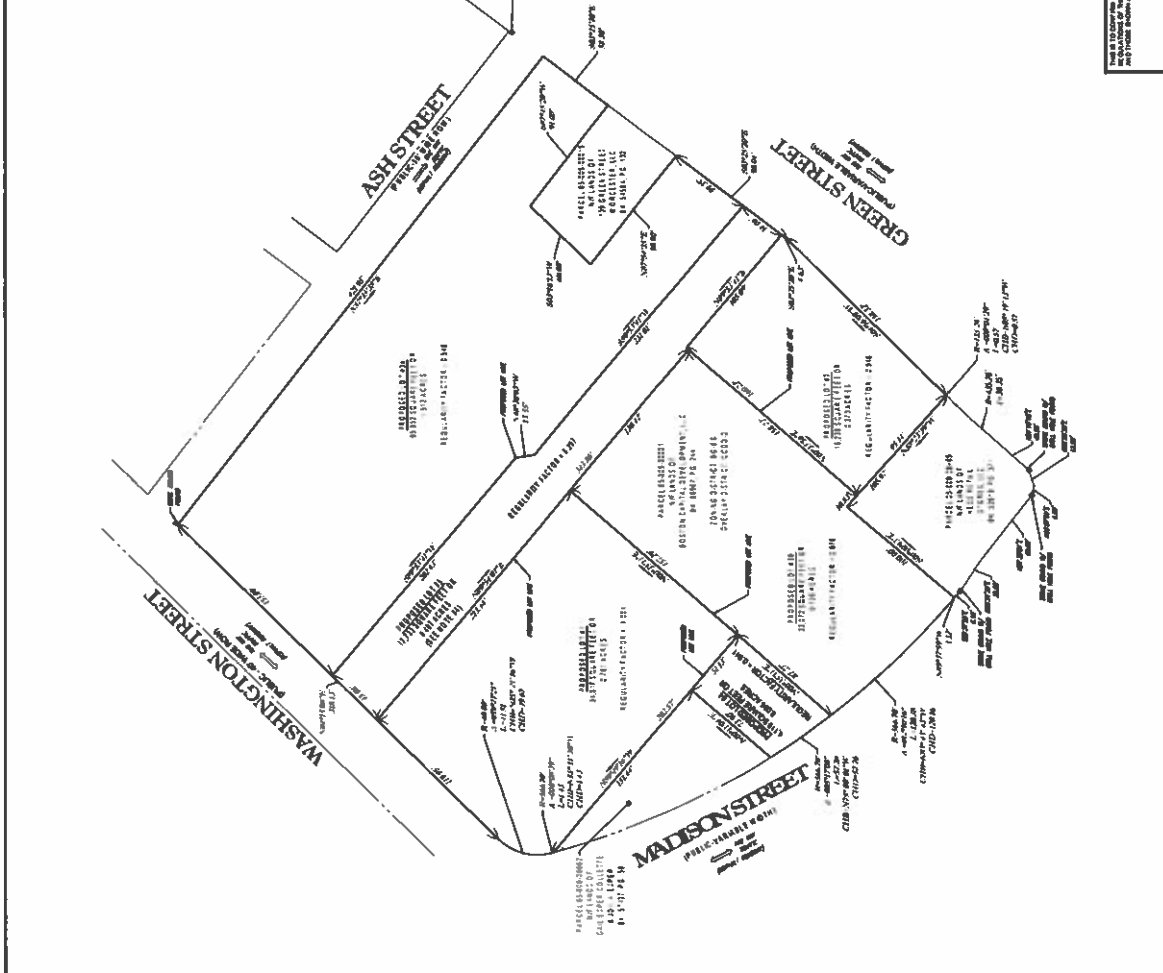
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WORCESTER, MASSACHUSETTS COMMUNITY DEVELOPMENT DEPARTMENT'S 2010 ZONING ORDINANCE.
2. AREA: 1.5000 ACRES (64,589 SQ FT) OF 100' WIDE FRONT LOT ON 1.5000 ACRES. (SEE MAP SHEET 1 OF 1 FOR SITE PLAN AND DIMENSIONS).
3. THE PROJECT IS TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF WORCESTER, MASSACHUSETTS COMMUNITY DEVELOPMENT DEPARTMENT'S 2010 ZONING ORDINANCE.
4. THE PROJECT IS TO BE DEVELOPED IN ACCORDANCE WITH THE CITY OF WORCESTER, MASSACHUSETTS COMMUNITY DEVELOPMENT DEPARTMENT'S 2010 ZONING ORDINANCE.
5. SUBJECT PROPERTY IS LOCATED WITHIN THE COMMERCIAL, COMBINATION OFFICE/RETAIL DISTRICT.

**REFERENCES**

1. THE CITY OF WORCESTER, MASSACHUSETTS COMMUNITY DEVELOPMENT DEPARTMENT'S 2010 ZONING ORDINANCE.
2. MASSACHUSETTS COMMONWEALTH PLANNING BOARD'S 2008 ZONING ORDINANCE.
3. MASSACHUSETTS COMMONWEALTH PLANNING BOARD'S 2008 ZONING ORDINANCE.
4. MASSACHUSETTS COMMONWEALTH PLANNING BOARD'S 2008 ZONING ORDINANCE.
5. MASSACHUSETTS COMMONWEALTH PLANNING BOARD'S 2008 ZONING ORDINANCE.

**APPLICABLE:**  
 WILSON DEVELOPMENT, LLC  
 100 GREEN STREET, SUITE 203  
 WORCESTER, MA 01603

PREPARED BY THE DATE:



APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED  
 CITY OF WORCESTER PLANNING BOARD  
 CHAIRMAN

DATE: \_\_\_\_\_

THE PLANNING BOARD'S CONCURRENCE IN THIS MATTER IS NOT A GUARANTEE OF ANY KIND. THE BOARD'S CONCURRENCE IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND.

DATE	BY

<b>APPROVAL NOT REQUIRED PLAN FILED</b> BOSTON CAPITAL DEVELOPMENT, LLC 100 GREEN STREET WORCESTER, MA 01603 COMMERCIAL/COMBINATION OFFICE/RETAIL DISTRICT	
PROJECT NO.: 100-000000 SHEET NO.: 1 OF 1	PROJECT NAME: CONTROL POINT ASSOCIATES, INC. PROJECT ADDRESS: 100 GREEN STREET PROJECT CITY: WORCESTER, MASSACHUSETTS
DATE: 06-12-2013 TIME: 10:30 AM BY: GERRY L. HOLDRIGHT, PLS. PROJECT ENGINEER/PLANNING BOARD MEMBER	DATE: 06-12-2013 TIME: 10:30 AM BY: GERRY L. HOLDRIGHT, PLS. PROJECT ENGINEER/PLANNING BOARD MEMBER







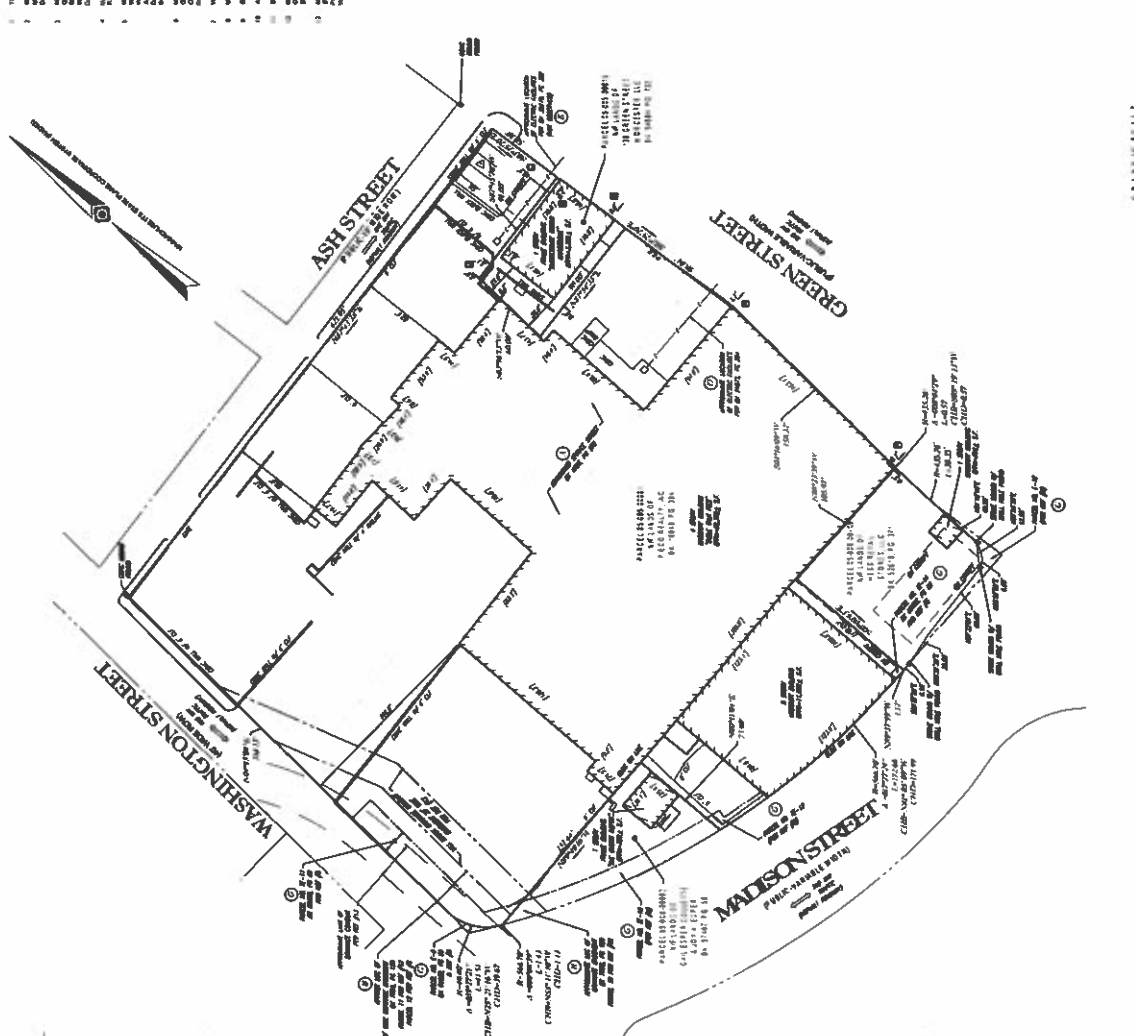


**REFERENCES**

1. THE CITY OF WORCESTER, MASSACHUSETTS: COMMERCIAL AND INDUSTRIAL ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
2. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
3. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
4. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
5. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
6. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.
7. THE CITY OF WORCESTER, MASSACHUSETTS: ZONING BY-LAW, ADOPTED BY THE BOARD OF CITY COUNCILORS, JANUARY 1985, AS AMENDED BY CITY COUNCILORS' RESOLUTION # 1989-384, APRIL 21, 1989.

**NOTES**

1. PROPERTY MAP AS SHOWN IN THESE PLANS IS BASED ON THE CITY OF WORCESTER, MASSACHUSETTS MAPS, COMMERCIAL AND INDUSTRIAL ZONING MAPS.
2. AREA IS SHOWN IN RED ON THE ZONING MAPS.
3. ALL DIMENSIONS ARE IN FEET AND INCHES.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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23. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
24. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
25. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.



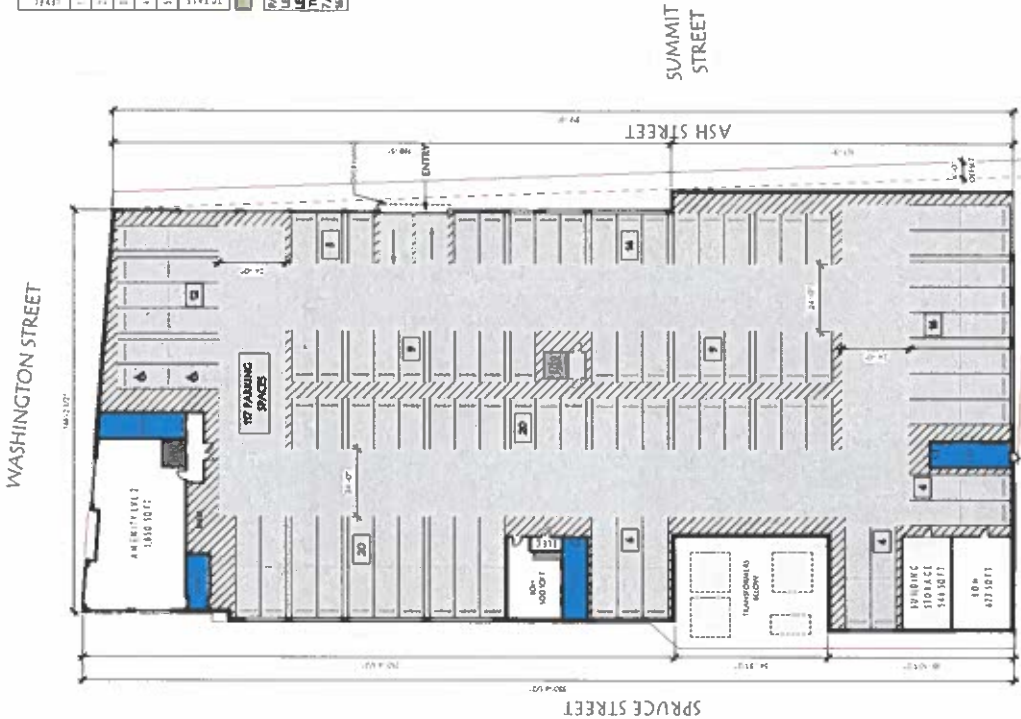
- LEGEND**
- ① Public Fire Hydrant
  - ② Public Water Main
  - ③ Public Sewer Line
  - ④ Public Storm Sewer Line
  - ⑤ Easement
  - ⑥ Easement
  - ⑦ Easement
  - ⑧ Easement
  - ⑨ Easement
  - ⑩ Easement
  - ⑪ Easement
  - ⑫ Easement
  - ⑬ Easement
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  - ⑯ Easement
  - ⑰ Easement
  - ⑱ Easement
  - ⑲ Easement
  - ⑳ Easement



TABLE TALK PIES, INC.		CONTROL POINT	
PROJECT NO.	DATE	PROJECT NO.	DATE
10-1000	11-16-2010	10-1000	11-16-2010
PROJECT NO.	DATE	PROJECT NO.	DATE
10-1000	11-16-2010	10-1000	11-16-2010
PROJECT NO.	DATE	PROJECT NO.	DATE
10-1000	11-16-2010	10-1000	11-16-2010
PROJECT NO.	DATE	PROJECT NO.	DATE
10-1000	11-16-2010	10-1000	11-16-2010
PROJECT NO.	DATE	PROJECT NO.	DATE
10-1000	11-16-2010	10-1000	11-16-2010

UNIT NO.	UNIT MAKEUP				TOTAL
	1 BR	2 BR	3 BR	4 BR	
1	1	0	0	0	1
2	1	0	0	0	1
3	1	0	0	0	1
4	1	0	0	0	1
5	1	0	0	0	1
6	1	0	0	0	1
7	1	0	0	0	1
8	1	0	0	0	1
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67	1	0	0	0	1
68	1	0	0	0	1
69	1	0	0	0	1
70	1	0	0	0	1

BUILDING 50 FT.  
 GARAGE 2 LEVELS - AMENITY, 11,850 SQ FT.  
 RESIDENTIAL 15 LEVELS, 388,000 SQ FT.  
 TOTAL GARAGE + RESIDENTY, 399,850 SQ FT.  
 10 BIKES SPOTS



2 LEVEL 2 - GARAGE FLOOR PLAN  
SCALE: 1" = 20'-0"



1 LEVEL 1 - GARAGE FLOOR PLAN  
SCALE: 1" = 20'-0"

PROJECT NO. 2022006

**SMC-Residence at Table Talk Square**

FLOOR PLANS - GARAGE LEVELS  
DECEMBER 11, 2024

UNIT MIXTURE		TOTAL UNITS		TOTAL SQ FT	
UNIT TYPE	NO. OF UNITS	NO. OF UNITS	SQ FT	NO. OF UNITS	SQ FT
1 BR	1	1	14	1	14
2 BR	4	4	14	4	14
3 BR	6	6	14	6	14
4 BR	6	6	14	6	14
5 BR	6	6	14	6	14
STUDIO	4	4	14	4	14
29 UNITS	13	66 UNITS	411	70 UNITS	411
		1142 SQ FT	2142 SQ FT		

**BUILDING SQ FT:**  
 1. AMBULATORY: 45,814 SQ FT  
 2. OFFICE: 18,025 SQ FT  
 3. RESIDENTIAL (LEVEL 3): 18,025 SQ FT  
**TOTAL: 81,864 SQ FT**  
 7 ADA Spaces Required  
 18 BIKE SPOTS



**2 LEVELS 4-6 - TYPICAL FLOOR PLAN**  
 SCALE: 1" = 10'-0"



**1 LEVEL 3 - FLOOR PLAN**  
 SCALE: 1" = 10'-0"

PROJECT: 2022081  
 NO.

### SMC-Residence at Table Talk Square

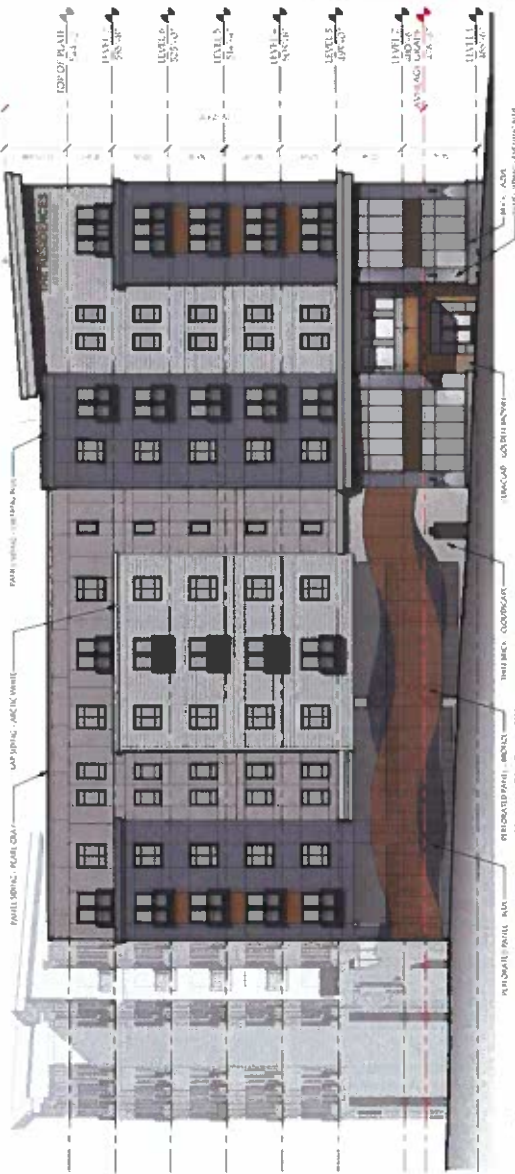
FLOOR PLANS - RESIDENTIAL LEVELS

DECEMBER 12, 2014

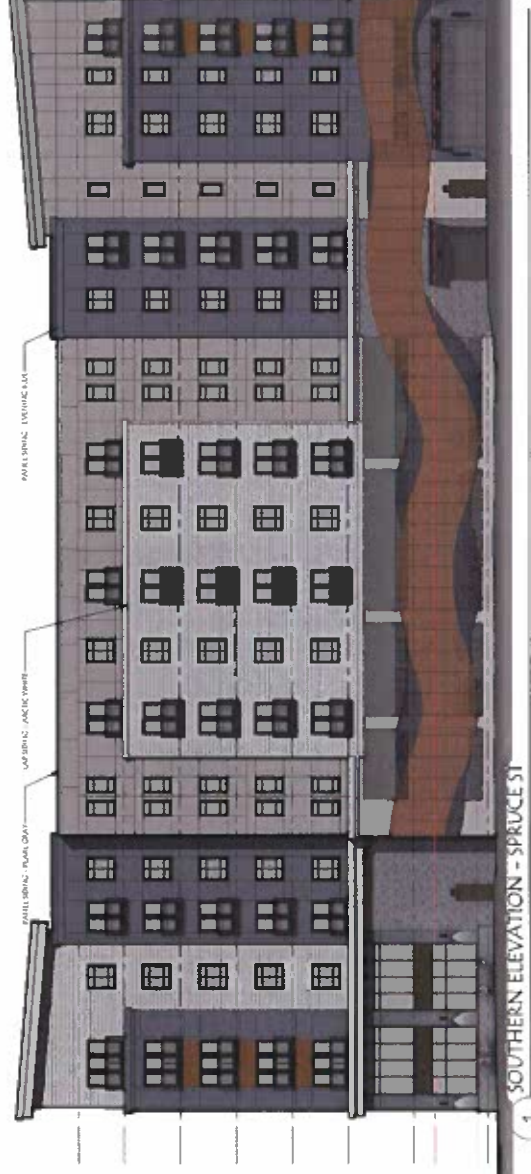








WESTERN ELEVATION - WASHINGTON ST  
SCALE: 1/8" = 1'-0"

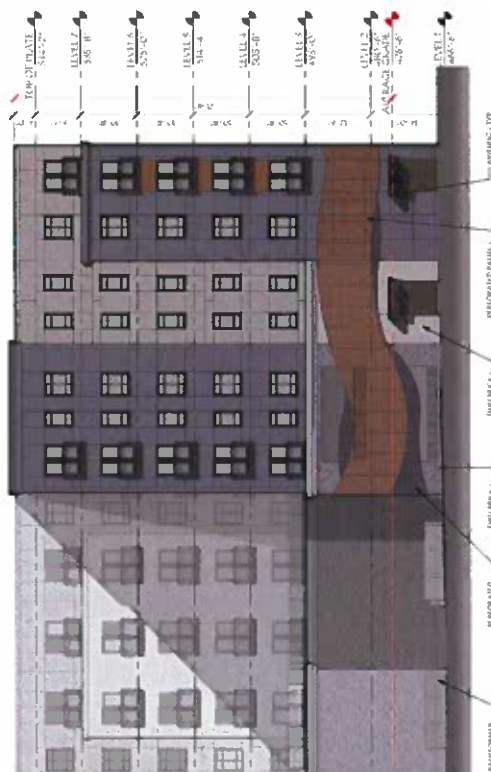
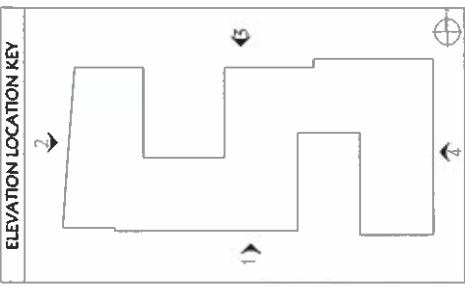


SOUTHERN ELEVATION - SPRUCE ST  
SCALE: 1/8" = 1'-0"

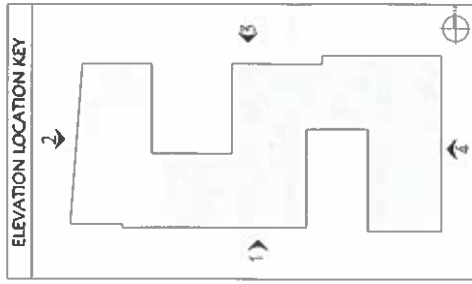
**MATERIALS**

FLUOROPOLYMER PANEL EVENING BLUE	STAINLESS STEEL AZUL THIN BRICK
TRIM PANELS PEARL GRAY	STAINLESS STEEL GLOUWSCAPE THIN BRICK
FLUOROPOLYMER PANEL ARCTIC WHITE	COAGULANT GOLDEN BROWN
PERFORATED EVENING BLUE	PERFORATED METALLIC BRONZE

**WALL SIGNAGE BUILDING IDENTIFICATION**

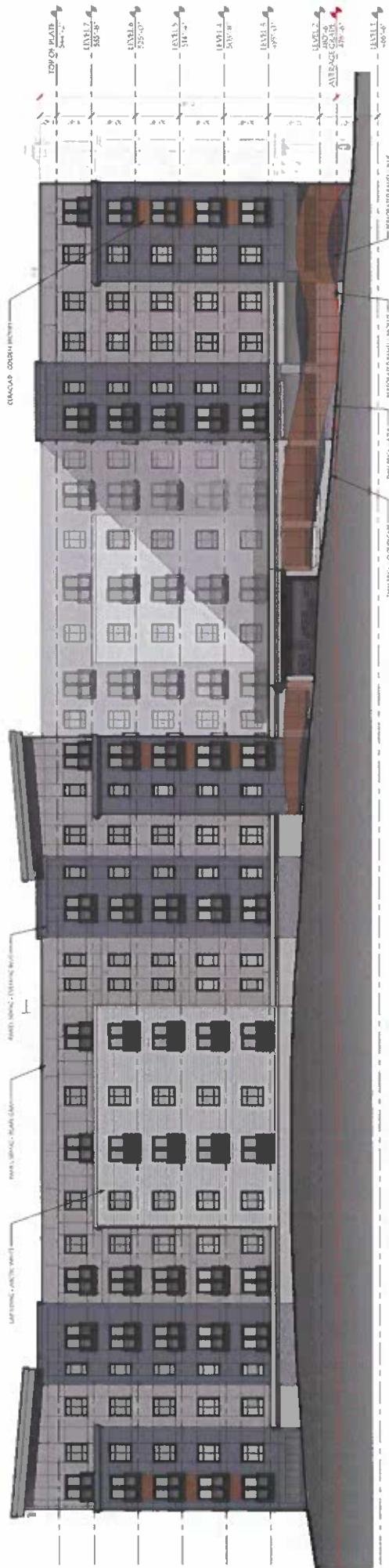
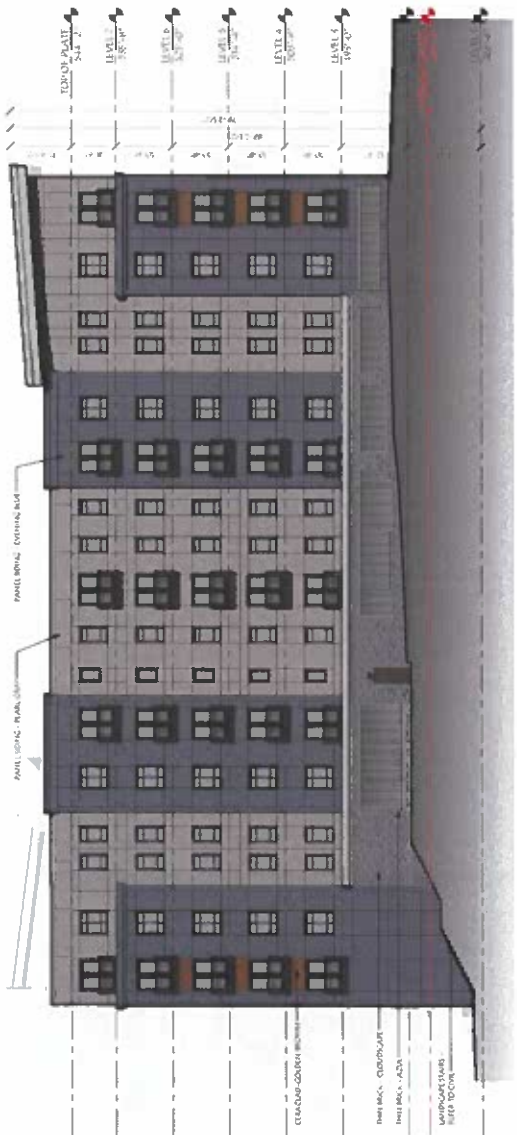


NORTHERN ELEVATION - SPRUCE ST  
SCALE: 1/8" = 1'-0"



**MATERIALS**

HARDY PLANK - PANSI EVENING BLUE	GEN-GRY AZUL THIN BRICK
HARDY PANEL PEARL GRAY	GEN-GRY CLOUDSCAPE THIN BRICK
HARDY PLANK - PANSI ARCTIC WHITE	CHALKBOARD GOLDEN BROWN
PERFORATED METAL PANEL EVENING BLUE	PERFORATED METAL PANEL BRONZE





PROJECT NO. 2022009

## SMC-Residence at Table Talk Square

RENDERING

DECEMBER 12, 2024



PROJECT NO. 2020061

## SMC-Residence at Table Talk Square

NEIGHBORHOOD RENDERING

DECEMBER 17, 2024

Edward M. Augustus, Jr.  
CITY MANAGER



Timothy J. McGourthy  
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny  
CITY ASSESSOR

CITY OF WORCESTER  
ADMINISTRATION & FINANCE

### Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 34

Parcel Address: 120 WASHINGTON ST  
139 GREEN STREET  
Assessor's Map-Block-Lot(s): 05-005-00001, 05-005-00015, 05-005-0002A  
05-005-0003A, 05-005-0003B  
05-005-0004A, 05-005-0005A

Owner: PARCEL 5 HOLDINGS LLC  
C/O BOSTON CAPITAL DEVELOPMENT  
11 BEACON ST SUITE 325  
BOSTON, MA 02108  
LAMEIMA LLC  
36 VERNDALE ST  
BROOKLINE, MA 02446  
153 GREEN ST LLC  
345 BOYLSTON ST SUITE 300  
NEWTON, MA 02459

Owner Mailing: BOSTON CAPITAL DEVELOPMENT LLC  
11 BEACON ST SUITE 325  
BOSTON, MA 02108

Petitioner (if other than owner): MARK A BORENSTEIN  
Petitioner Mailing Address: 120 FRONT ST SUITE 830  
WORCESTER, MA 01608  
508-688-9136

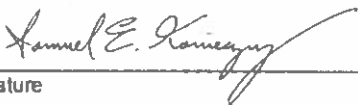
Planning: X      Zoning: \_\_\_\_\_      Liquor License: \_\_\_\_\_      ConComm: \_\_\_\_\_  
Historical: \_\_\_\_\_      Cannabis: \_\_\_\_\_      Other: \_\_\_\_\_

GOLDMAN,DANIEL H	05-004-15+24	0115 GREEN ST	WORCESTER, MA 01604-4123
DESJARDIN,SEAN TRUSTEE	04-021-19+25	0010 HARRISON ST	WORCESTER, MA 01604
ASH STREET,LLC	05-004-22+23	4 ASH STREET	WORCESTER, MA 01608
DESJARDIN,SEAN TRUSTEE	04-021-19+25	0010 HARRISON ST	WORCESTER, MA 01604
CANAL DISTRICT PARTNERS LLC	04-022-15+16	0004 ASH ST	WORCESTER, MA 01608
HESS RETAIL STORES LLC	05-008-08+09	539 SOUTH MAIN ST	FINDLAY, OH 45840
CANAL DISTRICT PARTNERS LLC	04-022-15+16	0004 ASH ST	WORCESTER, MA 01608

LORUSSO,LEONARD J	04-022-13+14	0015 HARRISON ST UNIT 6	WORCESTER, MA 01604
LORUSSO,LEONARD J	04-022-0001B	0015 HARRISON ST #6	WORCESTER, MA 01604
LORUSSO,LEONARD J	04-022-0001A	0015 HARRISON ST #6	WORCESTER, MA 01604
LORUSSO,LEONARD J	04-021-00020	0015 HARRISON ST UNIT 6	WORCESTER, MA 01604
139 GREEN STREET WORCESTER LLC	05-005-00015	0139 GREEN ST	WORCESTER, MA 01604
WHITE EAGLE ASSOCIATION OF	04-021-00009	0118 GREEN ST	WORCESTER, MA 01604
THE GOLD BLOCK REAL ESTATE LLC	05-004-00014	0175 PORTLAND ST FL 4	BOSTON, MA 02114
LORUSSO,LEONARD J	04-022-00018	0015 HARRISON ST #6	WORCESTER, MA 01604
PRIFTI,NICHOLAS W + DINA C	04-019-00033	0431 ROSEDALE RD	AUBURN, MA 01501
ORMOND,MATTHEW J TRUSTEE	04-021-00022	0112 GREEN ST	WORCESTER, MA 01609
8 GOLD REAL ESTATE LLC	05-004-00017	0175 PORTLAND ST FL 4	BOSTON, MA 02114
FLETCHER,ALLEN W	05-004-00021	0004 ASH ST	WORCESTER, MA 01608
NISA INC	05-008-00002	0020 WESTWOOD DR	WORCESTER, MA 01609
FLETCHER,ALLEN W	05-004-00021	0004 ASH ST	WORCESTER, MA 01608
TRAN,Y THI	05-008-00011	0010 MILLBURY ST	WORCESTER, MA 01610
J + K GAS INC	05-008-00010	0072 SHREWSBURY ST STE 7	WORCESTER, MA 01604
TRAN,Y THI	05-008-00011	0010 MILLBURY ST	WORCESTER, MA 01610
K SQUARE REAL ESTATE LLC	05-008-00024	0175 PORTLAND ST FL 4	BOSTON, MA 02114
MADISON REALTY LLC	05-008-00027	2800 POST OAK BLVD STE 4200	HOUSTON, TX 77056
BAYSTATE INVESTMENT FUND LLC	04-022-00009	0100 GROVE ST	WORCESTER, MA 01605
BAYSTATE INVESTMENT FUND LLC	04-022-00009	0100 GROVE ST	WORCESTER, MA 01605
WORCESTER REDEVELOPMENT AUTHORITY	05-007-00004	0455 MAIN ST CITY HALL 4TH FLOOR	WORCESTER, MA 01608
BAYSTATE INVESTMENT LLC	04-022-00007	0100 GROVE ST	WORCESTER, MA 01605
PARCEL 5 HOLDINGS LLC	05-005-00001	11 BEACON ST SUITE 325	BOSTON, MA 02108
MADISON WG HOLDINGS LLC	05-010-00001	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WASHINGTON HOLDINGS LLC	05-010-0001H	667 BOYLSTON ST SUITE 201	BOSTON, MA 02116
MADISON WG HOLDINGS LLC	05-010-00001	0667 BOYLSTON ST SUITE 201	BOSTON, MA 02116

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 05-005-00001, 05-005-00015, 05-005-0002A, 05-005-0003A, 05-005-0003B, 05-005-0004A, 05-005-0005A as cited above.

Certified by:



Signature

11/08/2024  
Date

Edward M. Augustus, Jr.  
CITY MANAGER

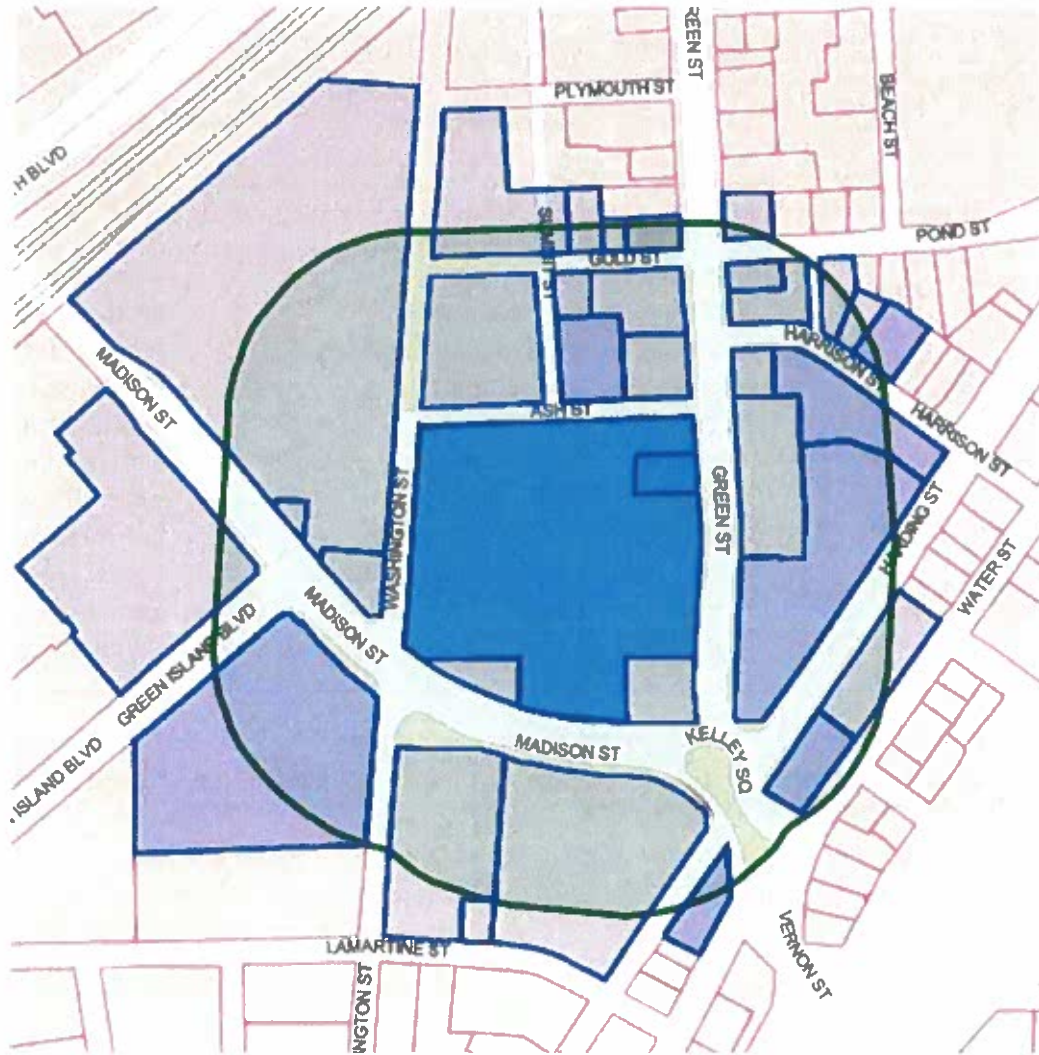


Timothy J. McGourthy  
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny  
CITY ASSESSOR

CITY OF WORCESTER  
ADMINISTRATION & FINANCE

## Abutters Map





December 12, 2024

**VIA EMAIL: [PLANNING@WORCESTERMA.GOV](mailto:PLANNING@WORCESTERMA.GOV)**

Worcester Planning Board  
Division of Planning and Regulatory Services  
City Hall, Room 404  
455 Main Street  
Worcester, MA 01608  
Attn: Michelle Smith, Assistant Chief Development Officer



**Re: *SMC Residences at Table Talk Square Limited Partnership – Application for Definitive Site Plan Approval at 120 Washington Street (Proposed Lot 3A), Worcester, MA (the “Property”)***

Dear Ms. Smith:

We represent SMC Residences at Table Talk Square Limited Partnership (the “Applicant”) in its application to the City of Worcester Planning Board (the “Board”) for Definitive Site Plan Approval in connection with its construction and development of a new 7-story, approximately 282,359 square foot multifamily building with approximately 185 dwelling units and 230 podium parking spaces at the Property. We hereby submit the following items for filing with the Board:

1. Zoning Determination Form (to be submitted under separate cover letter);
2. Preliminary Site Plan Approval Decision and Extension of Time Decision;
3. Application for Definitive Site Plan Approval (with Project Impact Statement and Statement in Support);
4. Aerial Photographs of the Property;
5. Approval Not Required Plan of Land prepared by Control Point Associates, Inc.;
6. Site Development Plans and Drainage Report prepared by Bohler Engineering;
7. Architectural Plans (including Floors Plans, Elevations and Rendering);
8. Traffic Memorandum and prepared by The Engineering Corp.; and
9. Certified Abutters List.

# ▶ PRINCE LOBEL

Worcester Planning Board  
December 12, 2024  
Page 2

We will coordinate with staff to facilitate the submission of the addressed envelopes and the filing fee to the City of Worcester.

Kindly file this application with the City Clerk, and schedule this application for a hearing at the Board's next available meeting, which is scheduled to occur on **January 15, 2025**.

Please contact me should have any questions regarding this application. Thank you.

Sincerely,



Mark A. Borenstein

Enclosures

cc: Project Team



### DECISION – PRELIMINARY SITE PLAN

<b>Application:</b>	Preliminary Site Plan	<b>File #:</b>	PB-2023-008
<b>Subject Property:</b>	139 & 153 (aka 120 Washington Street) Green Street	<b>Map Block Lot #:</b>	05-005-00015 & 00001
<b>Applicant(s):</b>	Quarterra Multifamily Communities, LLC	<b>Property Owner:</b>	139 Green Street Worcester LLC & Parcel 5 Holdings LLC
<b>Zoning District(s):</b>	BG-6.0 & CCOD-D (Commercial Corridors Overlay District – Downtown Subarea)	<b>Review Trigger:</b>	Prelim
<b>Existing:</b>	Presently on premises of 139 Green Street is a single-story restaurant and 153 Green Street is a two-story commercial building.		
<b>Proposed:</b>	The applicant seeks to construct an 8 story 395,000SF mixed-use building with 22,000SF of commercial space on the ground floor, ± 375 dwelling units and a 7-story detached parking garage with ± 560 parking spaces.		
<b>Plan Preparer:</b>	Bohler Engineering	<b>Plan Date:</b>	dated 12/28/2022
<b>Meeting date(s):</b>	February 1, 2023	<b>Board Action:</b>	Approved 5-0 with modifications

*Note: The approval of a preliminary plan does not alleviate the applicant from satisfactorily fulfilling any requirements of the Zoning Ordinance or Definitive Site Plan application as required in Article V, Section 4.B and Section 5 of the Zoning Ordinance, unless specifically waived.*

#### Required Modifications:

The Definitive Site Plan submission shall include the following modifications:

1. Revised project impact statement and Definitive Site Plan application reflecting all changes.
2. Evidence of any recorded ANR plan or concurrent submission of an ANR plan creating the lots lines for Lot 3B as shown on the definitive site plan.
3. A plan reflecting the current property lines stamped and sealed by a MA Licensed PLS.
4. A zoning analysis table demonstrating zoning dimensional compliance, including building height in feet and compliant floor-area ratios for Lot 3B.
5. A Traffic Impact Study that meets the requirements of the City of Worcester's Guidelines for Performing Traffic Impact Studies.

Office of the City of Worcester Planning Board c/o Planning & Regulatory Services Division  
City Hall, 455 Main Street, Room 404 (4<sup>th</sup> floor), Worcester, MA 01608

P | (508) 799-1400 x31440 F | (508) 799-1406 E | [planning@worcestermma.gov](mailto:planning@worcestermma.gov) W | [www.worcestermma.gov/planning-regulatory](http://www.worcestermma.gov/planning-regulatory)

6. A parking analysis table demonstrating the breakdown (i.e. number and type of accessible, compact, & EV spaces) of the anticipated +/- 560 parking spaces by level, reflecting to-scale locations approximating any columns or supports to ensure appropriate stall spacing and adequacy of circulation and including a minimum of 15% EV or EV ready spaces (including accessible EV spaces).
7. A photometric plan demonstrating warm (less than 3000K), dark-sky compliant lighting, including any architectural or site lighting, and modeling any lights in the abutting rights-of-ways or driveways.
8. Approximate type, locations, and size of any proposed exterior signage.
9. Submission of to-scale architectural elevations of all building exteriors and floor plans for each story with all points of egress and overhangs (including balconies) labeled, consistent with the civil plans.
  - a. Reflect use of a white or reflective roof treatment on the mixed-use building.
  - b. Reflect active façades (further detailing the submitted renderings) in accordance with the guidelines of the CCOD (Article IX, Section 6) and following the City of Worcester Urban Design Guidelines (November 2012) to the maximum extent feasible.
10. Revised renderings reflecting the exterior elevations.
11. Details and materials plan for any walls including top and bottom elevations at all endpoints, highest points, and points of intersection including any wall drainage components (weep holes, drainage connections, etc.).
12. A planting plan and schedule including location, species and caliper size of all plantings and reflecting no less than 4 different tree species, in accordance with the City's current planting recommendations. Providing details for tree protection and plant installation as well as specifications for any hardscaping and final surface treatments.
13. Subject to obtaining necessary permits and approvals, the "Spruce Street" streetscape shall reflect:
  - a. 10' of sidewalk or hardscape between the building face and edge of the sidewalk curbing.
  - b. With regard to the garage entry:
    - i. Curb cut shall be the minimum feasible width.
    - ii. Sidewalk shall continue at-grade through the curb-cut.
    - iii. The entry gate locations shall be specified and set back within the garage such that a vehicle waiting to enter is not blocking the sidewalk or bicycle lane.
    - iv. The applicant shall incorporate a pedestrian/bicyclist warning system for cars egressing the parking garage.
  - c. Pedestrian entrances to retail/commercial use shall be accentuated by the architecture and important interior spaces (e.g. lobbies or retail uses) shall be visible from the street.
  - d. Street tree locations shall not conflict with any proposed doors.
14. The Green Street streetscape shall reflect:
  - a. Closure of existing curb cut near the intersection with Ash Street.
  - b. Pedestrian amenities as depicted in renderings provided, including but not limited to landscaping, street trees, and seating areas.
  - c. Consider further modulation to the facade
15. The Ash Street streetscape shall reflect:

- a. Changes to the mixed-use building footprint to accommodate circumnavigation of the site on a separated pedestrian facility and a pedestrian access near the intersection of Ash & Washington.
  - b. 6-8' of sidewalk or pedestrian space between building and edge of sidewalk curb along the southern side of Ash Street between Green Street and Washington Street.
  - c. The applicant shall coordinate with DPW & DTM to remove the diagonal crosswalk at the intersection of Ash Street and Summit Street and replace it with a perpendicular crosswalk at an appropriate, safe location.
  - d. The private amenity spaces shall incorporate appropriate design elements along Ash Street, using open style materials and buffers where possible to avoid detriment to the pedestrian environment.
  - e. Reflect closure of existing curb cuts.
  - f. Incorporation of pedestrian access along Ash Street in at least 3 locations (e.g. mixed-use building exits and/or cross walks from Green Street and Washington Street).
  - g. 10' of sidewalk or pedestrian space between building and edge of sidewalk curb at the intersection of southern side of Ash Street and along the eastern side of Washington Street.
16. The Washington Street streetscape shall reflect:
- a. 10' of sidewalk or pedestrian space between building and edge of sidewalk curb.
17. The parking garage and Madison Street streetscape shall reflect:
- a. Compliance with setbacks and landscaping requirements relative to the parking garage and the Madison and Spruce Street lot lines, as described in Article IX, Section 6 A & F. The applicant is encouraged to evaluate setbacks along Spruce Street to improve sightlines for exiting vehicles and provide a buffer to the sidewalk.
  - b. Reflect closure of all existing curb cuts on Madison Street except those required for vehicular access to/from the parking garage, which shall be the minimum width feasible.
  - c. Any curb cuts required for access to the parking garage shall be designed to prioritize pedestrians and bicyclists to the extent feasible and consolidated with neighboring site where appropriate and possible.
  - d. Demonstrate compliance with Article IX, Section 6B, with façade details, pedestrian entrances, and landscaping to maintain an attractive streetscape.
  - e. If an active use cannot feasibly be located on the ground floor fronting Madison Street, the definitive submission shall include an explanation of why this is infeasible and what alternatives were specifically explored.
  - f. Reflect pedestrian circulation, separated from vehicles, at the ground level.
18. Utility plans for gas, HVAC, and electric should reflect site infrastructure with connections and transformers away from the street to the maximum extent practical. Backflow preventers shall be evaluated for all sewerage connections.
19. A construction period erosion and sediment control plan, including proposed dust control measures and any plans for dewatering.
20. A complete stormwater report and checklist stamped and sealed by a MA licensed PE with a detailed narrative for each of the 10 standards documenting compliance with the MA Stormwater Standards and Handbook, all calculations shall be performed using NOAA Atlas 14 precipitation data. Actual soil test pit information shall be provided within the locations of any proposed infiltration BMPs including assumptions for groundwater elevations -infiltration

of roof-runoff should be fully investigated for the three courtyard areas. Given the extent of redevelopment TSS removal rates should meet the 80% removal standard. Any opportunities to connect with surface drainage system infrastructure shall be evaluated and prioritized.

- 21. A construction period staging and circulation management plan (including temporary fencing, loading/unloading and parking or shuttling for workers, sidewalks to be obstructed, etc.).
- 22. The applicant shall either remove the skybridge from architectural renderings or reflect the bridge on the civil drawings and demonstrate compliance with the Worcester Zoning Ordinance. If retained, details on minimum vertical clearance (the distance for which must minimally enable a tractor trailer and the city's largest fire apparatus to drive-under without issue) and materials shall be provided in to-scale elevations.
- 23. Submitted plans shall comply with all the plan requirements outlined in the City of Worcester's Zoning Ordinance and the Planning Board's Rules & Regulations for Definitive Site Plans.
- 24. The applicant shall provide any materials that the Board deems necessary in order to grant Definitive Site Plan approval and shall demonstrate compliance with all applicable provisions of the City of Worcester's Zoning Ordinance.

**Waivers Granted**

No waivers from the plan requirements for Definitive Site Plan approval are conferred.

**Authorized Signature,**

DocuSigned by:  
  
 26350A8C7CF44D3

**DATE** 03/10/2023

Michelle Smith, *Assistant Chief Development Officer*  
On behalf of the Worcester Planning Board

**REMINDERS**

Time Limitations: Approval under this article shall become invalid unless the work or action authorized by it shall commence within one year after the Planning Board has granted such approval and thereafter shall proceed in good faith continuously to completion so far as is reasonably practicable under the circumstances. Per Article V, Section 3F "Site Plan Review" of the City of Worcester Zoning Ordinance.

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The City of  
**WORCESTER**

Planning Board

Albert LaValley, Chair  
Edward Moynihan, Vice Chair  
Adrian Angus  
Conor McCormack  
Brandon King

**DECISION – PRELIMINARY SITE PLAN – EXTENSION OF TIME**

<b>Application:</b>	Preliminary Site Plan Extension of Time	<b>File #:</b>	PB-2024-008
<b>Subject Property:</b>	139 & 153 (aka 120 Washington Street) Green Street	<b>Map Block Lot #:</b>	05-005-00015 & 00001
<b>Applicant(s):</b>	Boston Capital Development, LLC	<b>Property Owner:</b>	Boston Capital Development, LLC & 139 Green Street Worcester, LLC
<b>Zoning District(s):</b>	BG-6.0 & CCOD-D (Commercial Corridors Overlay District – Downtown Subarea)	<b>Review Trigger:</b>	Preliminary
<b>Existing:</b>	Presently on premises of 139 Green Street is a single-story restaurant and 153 Green Street is a two-story commercial building.		
<b>Proposed:</b>	The applicant seeks to construct an 8 story 395,000SF mixed-use building with 22,000SF of commercial space on the ground floor, ± 375 dwelling units and a 7-story detached parking garage with ± 560 parking spaces.		
<b>Plan Preparer:</b>	Bohler Engineering	<b>Plan Date:</b>	dated 12/28/2022
<b>Meeting date(s):</b>	February 28, 2024	<b>Board Action:</b>	Approved 5-0 with modifications

The Planning Board approves the Preliminary Site Plan Extension of Time. The Extension of Time is granted for a period of one year to expire on February 1, 2025. The Board approves the Extension of Time subject to the original modifications, listed below:

*Note: The approval of a preliminary plan does not alleviate the applicant from satisfactorily fulfilling any requirements of the Zoning Ordinance or Definitive Site Plan application as required in Article V, Section 4.B and Section 5 of the Zoning Ordinance, unless specifically waived.*

**Required Modifications:**

The Definitive Site Plan submission shall include the following modifications:

1. Revised project impact statement and Definitive Site Plan application reflecting all changes.
2. Evidence of any recorded ANR plan or concurrent submission of an ANR plan creating the lots lines for Lot 3B as shown on the definitive site plan.
3. A plan reflecting the current property lines stamped and sealed by a MA Licensed PLS.

Office of the City of Worcester Planning Board c/o Planning & Regulatory Services Division  
City Hall, 455 Main Street, Room 404 (4<sup>th</sup> floor), Worcester, MA 01608

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4. A zoning analysis table demonstrating zoning dimensional compliance, including building height in feet and compliant floor-area ratios for Lot 3B.
5. A Traffic Impact Study that meets the requirements of the City of Worcester's Guidelines for Performing Traffic Impact Studies.
6. A parking analysis table demonstrating the breakdown (i.e. number and type of accessible, compact, & EV spaces) of the anticipated +/- 560 parking spaces by level, reflecting to-scale locations approximating any columns or supports to ensure appropriate stall spacing and adequacy of circulation and including a minimum of 15% EV or EV ready spaces (including accessible EV spaces).
7. A photometric plan demonstrating warm (less than 3000K), dark-sky compliant lighting, including any architectural or site lighting, and modeling any lights in the abutting rights-of-ways or driveways.
8. Approximate type, locations, and size of any proposed exterior signage.
9. Submission of to-scale architectural elevations of all building exteriors and floor plans for each story with all points of egress and overhangs (including balconies) labeled, consistent with the civil plans.
  - a. Reflect use of a white or reflective roof treatment on the mixed-use building.
  - b. Reflect active façades (further detailing the submitted renderings) in accordance with the guidelines of the CCOD (Article IX, Section 6) and following the City of Worcester Urban Design Guidelines (November 2012) to the maximum extent feasible.
10. Revised renderings reflecting the exterior elevations.
11. Details and materials plan for any walls including top and bottom elevations at all endpoints, highest points, and points of intersection including any wall drainage components (weep holes, drainage connections, etc.).
12. A planting plan and schedule including location, species and caliper size of all plantings and reflecting no less than 4 different tree species, in accordance with the City's current planting recommendations. Providing details for tree protection and plant installation as well as specifications for any hardscaping and final surface treatments.
13. Subject to obtaining necessary permits and approvals, the "Spruce Street" streetscape shall reflect:
  - a. 10' of sidewalk or hardscape between the building face and edge of the sidewalk curbing.
  - b. With regard to the garage entry:
    - i. Curb cut shall be the minimum feasible width.
    - ii. Sidewalk shall continue at-grade through the curb-cut.
    - iii. The entry gate locations shall be specified and set back within the garage such that a vehicle waiting to enter is not blocking the sidewalk or bicycle lane.
    - iv. The applicant shall incorporate a pedestrian/bicyclist warning system for cars egressing the parking garage.
  - c. Pedestrian entrances to retail/commercial use shall be accentuated by the architecture and important interior spaces (e.g. lobbies or retail uses) shall be visible from the street.
  - d. Street tree locations shall not conflict with any proposed doors.
14. The Green Street streetscape shall reflect:
  - a. Closure of existing curb cut near the intersection with Ash Street.
  - b. Pedestrian amenities as depicted in renderings provided, including but not limited to landscaping, street trees, and seating areas.
  - c. Consider further modulation to the facade
15. The Ash Street streetscape shall reflect:



- a. Changes to the mixed-use building footprint to accommodate circumnavigation of the site on a separated pedestrian facility and a pedestrian access near the intersection of Ash & Washington.
- b. 6-8' of sidewalk or pedestrian space between building and edge of sidewalk curb along the southern side of Ash Street between Green Street and Washington Street.
- c. The applicant shall coordinate with DPW & DTM to remove the diagonal crosswalk at the intersection of Ash Street and Summit Street and replace it with a perpendicular crosswalk at an appropriate, safe location.
- d. The private amenity spaces shall incorporate appropriate design elements along Ash Street, using open style materials and buffers where possible to avoid detriment to the pedestrian environment.
- e. Reflect closure of existing curb cuts.
- f. Incorporation of pedestrian access along Ash Street in at least 3 locations (e.g. mixed-use building exits and/or cross walks from Green Street and Washington Street).
- g. 10' of sidewalk or pedestrian space between building and edge of sidewalk curb at the intersection of southern side of Ash Street and along the eastern side of Washington Street.

16. The Washington Street streetscape shall reflect:

- a. 10' of sidewalk or pedestrian space between building and edge of sidewalk curb.

17. The parking garage and Madison Street streetscape shall reflect:

- a. Compliance with setbacks and landscaping requirements relative to the parking garage and the Madison and Spruce Street lot lines, as described in Article IX, Section 6 A & F. The applicant is encouraged to evaluate setbacks along Spruce Street to improve sightlines for exiting vehicles and provide a buffer to the sidewalk.
- b. Reflect closure of all existing curb cuts on Madison Street except those required for vehicular access to/from the parking garage, which shall be the minimum width feasible.
- c. Any curb cuts required for access to the parking garage shall be designed to prioritize pedestrians and bicyclists to the extent feasible and consolidated with neighboring site where appropriate and possible.
- d. Demonstrate compliance with Article IX, Section 6B, with façade details, pedestrian entrances, and landscaping to maintain an attractive streetscape.
- e. If an active use cannot feasibly be located on the ground floor fronting Madison Street, the definitive submission shall include an explanation of why this is infeasible and what alternatives were specifically explored.
- f. Reflect pedestrian circulation, separated from vehicles, at the ground level.

18. Utility plans for gas, HVAC, and electric should reflect site infrastructure with connections and transformers away from the street to the maximum extent practical. Backflow preventers shall be evaluated for all sewerage connections.

19. A construction period erosion and sediment control plan, including proposed dust control measures and any plans for dewatering.

20. A complete stormwater report and checklist stamped and sealed by a MA licensed PE with a detailed narrative for each of the 10 standards documenting compliance with the MA Stormwater Standards and Handbook, all calculations shall be performed using NOAA Atlas 14 precipitation data. Actual soil test pit information shall be provided within the locations of any proposed infiltration BMPs including assumptions for groundwater elevations -infiltration of roof-runoff should be fully investigated for the three courtyard areas. Given the extent of redevelopment TSS removal rates should meet the 80% removal standard. Any opportunities to connect with surface drainage system infrastructure shall be evaluated and prioritized.

21. A construction period staging and circulation management plan (including temporary fencing, loading/unloading and parking or shuttling for workers, sidewalks to be obstructed, etc.).
22. The applicant shall either remove the skybridge from architectural renderings or reflect the bridge on the civil drawings and demonstrate compliance with the Worcester Zoning Ordinance. If retained, details on minimum vertical clearance (the distance for which must minimally enable a tractor trailer and the city's largest fire apparatus to drive-under without issue) and materials shall be provided in to-scale elevations.
23. Submitted plans shall comply with all the plan requirements outlined in the City of Worcester's Zoning Ordinance and the Planning Board's Rules & Regulations for Definitive Site Plans.
24. The applicant shall provide any materials that the Board deems necessary in order to grant Definitive Site Plan approval and shall demonstrate compliance with all applicable provisions of the City of Worcester's Zoning Ordinance.

### Waivers Granted

No waivers from the plan requirements for Definitive Site Plan approval are conferred.

### Authorized Signature,

DocuSigned by:  
  
202610070F1100

DATE 05/31/2024

Michelle Smith, *Assistant Chief Development Officer*  
On behalf of the Worcester Planning Board

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